Tuscan Porch

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project

City of Moreno Valley Permitted ADU Plan Set

revisions

description

Exterior Style **Options**

Tuscan Porch Roof

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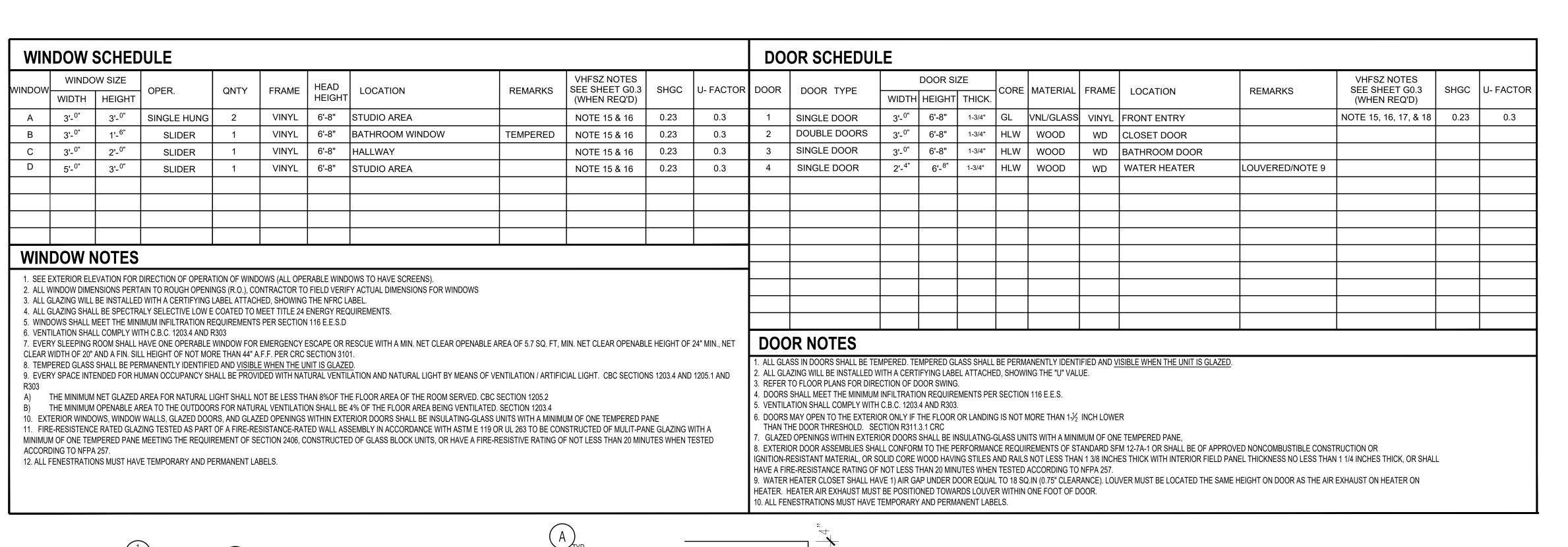
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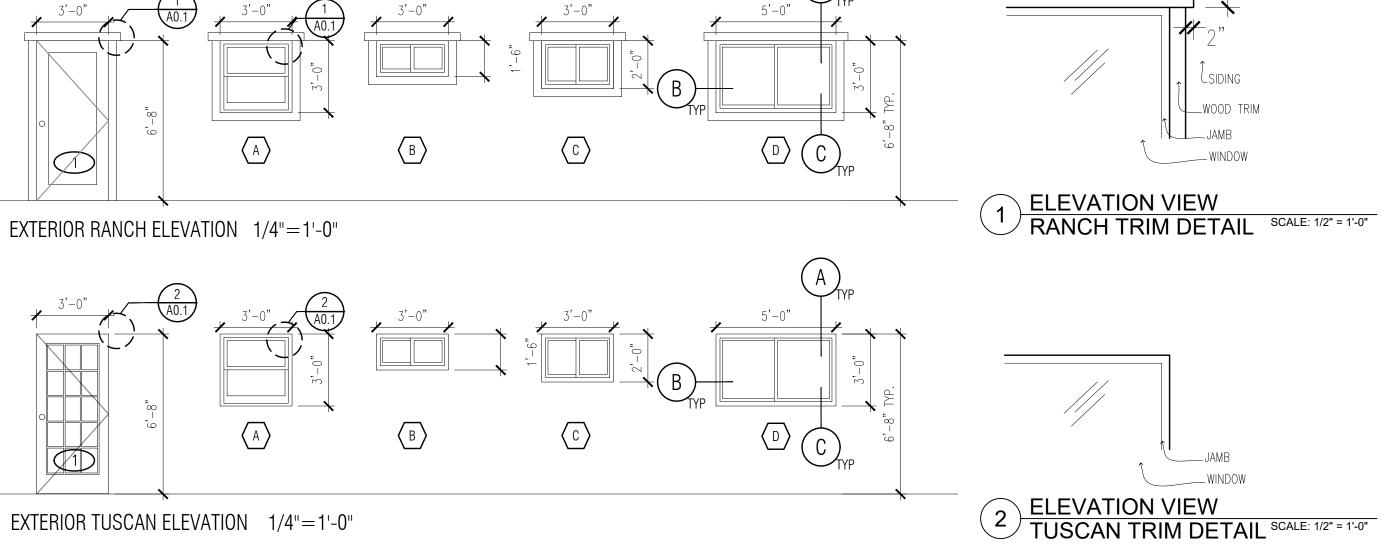
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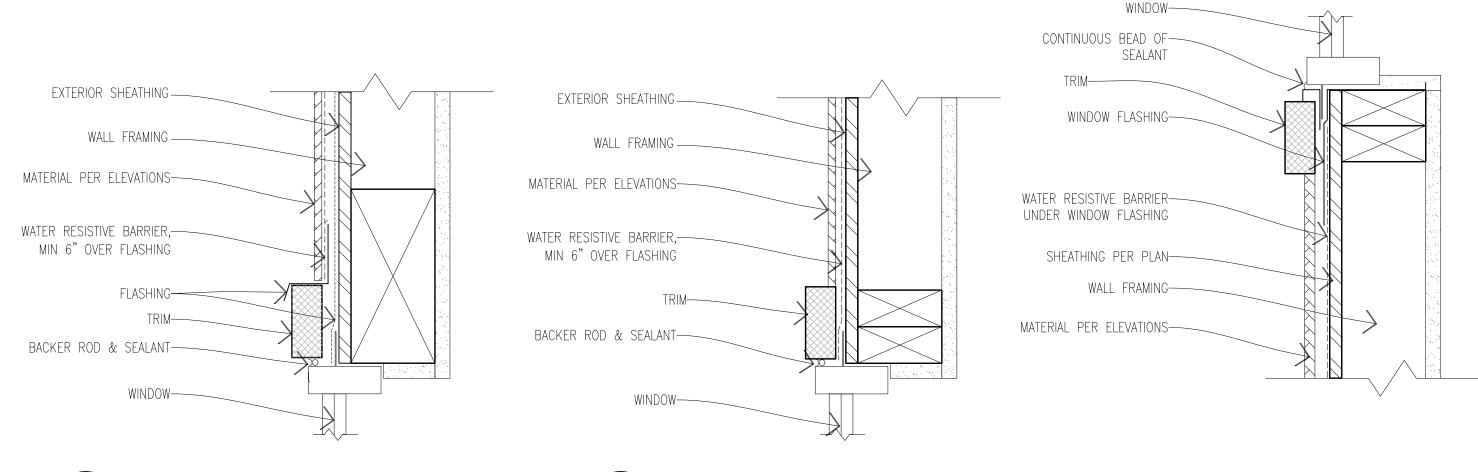
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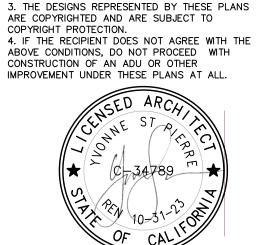












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project

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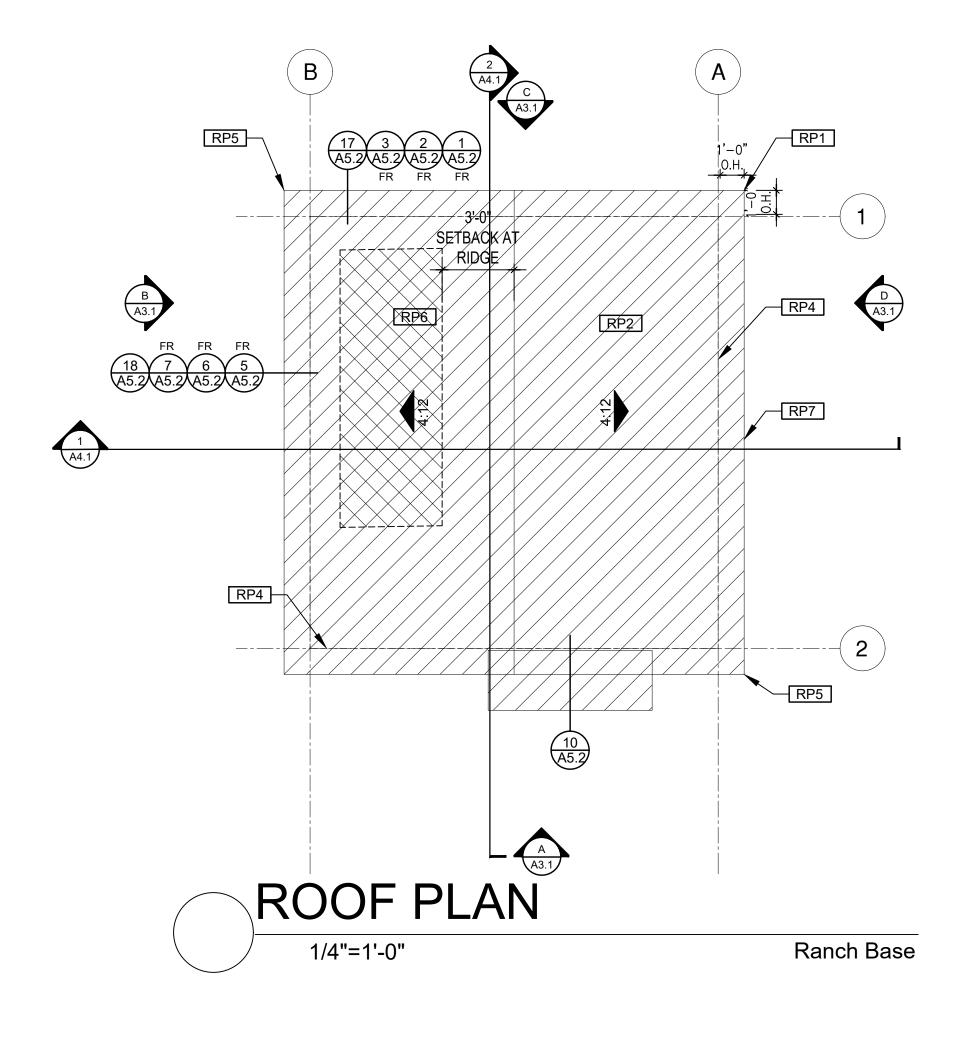
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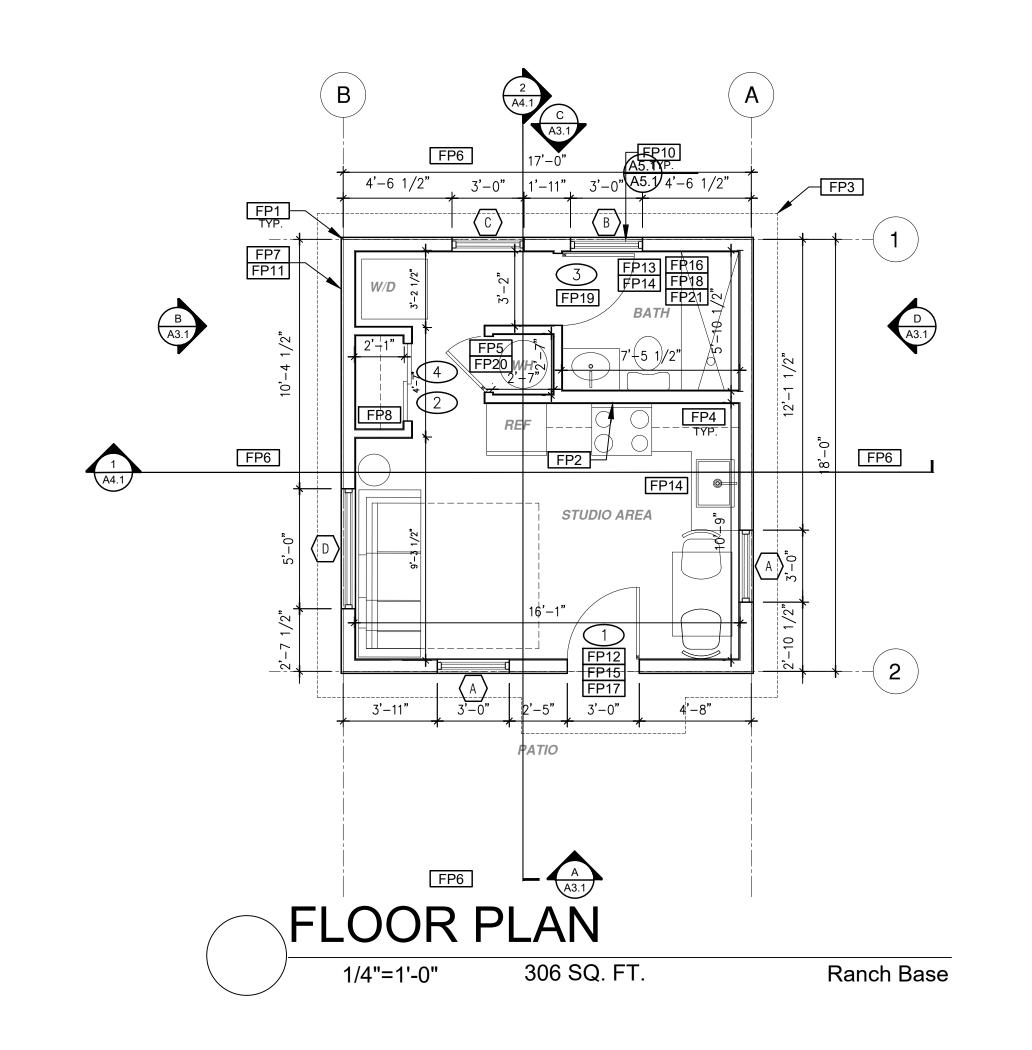
description Floor Plan/ Roof Plan Ranch Base

project no. 2024_Moreno ADU

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sheet no.





FP12 MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL RP1 LINE OF ROOF OVERHANG FP1 STUD WALL SIZED PER STRUCTURAL RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED MECHANICAL / PLUMBING / VENTING 13 ON SHEET G0.2 BETWEEN THE FACE OF THE DOOR AND THE STOP, FP3 LINE OF OVERHANG ABOVE RP3 SUPPORT POST BELOW WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES FP4 36" HIGH COUNTER RP4 LINE OF WALLS BELOW IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP FP5 WATER HEATER RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS FP13 SURROUND AROUND THE SHOWER MUST BE FP6 SLOPE SURFACE AWAY FROM BUILDING TEMPERED. GLAZING IN THE WALLS/DOORS FACING RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, READY NOTES ON THIS SHEET FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN FP8 CLOSET SHELF AND POLE THAN 60" ABOVE THE STANDING SURFACE. 1/16" OPENING SIZE ON VENT SCREEN WITH EXCEPTION: GLAZING THAT IS MORE THAN 60", CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 FP9 EMERGENCY EGRESS WINDOW MEASURED HORIZONTALLY, FROM THE WATER'S SF OF VENTING PER 150 SF OF ENCLOSED RAFTER EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL AREA IN NON-FIRE RATED CONSTRUCTION PLEASE OR SWIMMING POOL. FP10 WINDOW MUST HAVE A FRAME AND SASH SEE VENTING CALCULATIONS OF THIS SHEET FOR COMPRISED OF WELDED CORNERS, METAL FP14 PER SECTION 301.1.1 CALGREEN AND CIVIL CODE NON VENTED EAVES SEE INSULATIONS DETAILS 4, 8, REINFORCEMENT IN THE INTERLOCK AREA. AND 1101.3(c), ALL PLUMBING FIXTURES SHALL BE AND 12 ON SHEET A5.2. CONSTRUCTED OF MULTIPANE TEMPERED GLAZING COMPLIANT WATER -CONSERVING PLUMBING

WHERE INDICATED TYPICAL ALL WINDOWS

FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION

FURTHER INFORMATION

FLOOR PLAN KEYNOTES

ROOF KEYNOTES

FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED ¹/₄" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OUTWARD.

FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2 FP17 DOOR BELL BUTTON TO BE NO MORE THEN

48" ABOVE EXTERIOR FLOOR OR LANDING

FP18 WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO

FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT PUMP WATER HEATER PER CEC 2022 SECTION FP21 FURRING AS NEEDED FOR STANDARD TUB AND

SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. MINIMUM PV SIZE BASED ON EXAMPLE ENERGY CALCULATIONS _____1.40 ____ kWd TO BE UPDATED WITH SITE SPECIFIC ENERGY CALCULATIONS.

THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION,

AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS

OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION

VENTING CALCULATIONS

SOLAR READY NOTES

PER CALIFORNIA ENERGY CODE SECTION 110.10(b)

SOLAR READY ROOF AREA:

MIN DIMENSION > 5FT. MIN. SF. > 80SF.

ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 306 SF. VENTILATION AREA REQUIRED: 306 SF./150SF.= 2.04 SF. CONVERT TO SQ. IN: <u>2.04 SF. x 144 = 294</u> SQ. IN. MINIMUM VENTILATION AREA REQUIRED: <u>294</u> SQ. IN.

ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR

CALLOUT SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN DETAIL DRAWING REF. FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR WALL BELOW OR -----X'-X" ROOF ABOVE VARIES) SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2 ROOFING

SECTION CUT

ELEVATION

X KEYNOTE

DOOR SYMBOL

WINDOW SYMBOL

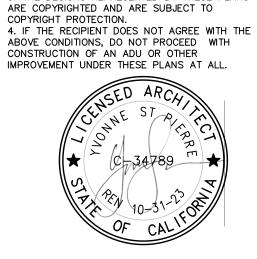
CEILING HEIGHTS

VAULTED CEILING

ROOF SLOPE

LEGEND

39.5" ABOVE FINISH FLOOR, SEE FLOOR PLAN GENERAL NOTE #31 ON SHEET G0.2 FOR FURTHER INFORMATION FP19 DOOR TO HAVE A NET CLEAR FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR OPENING OF 32"



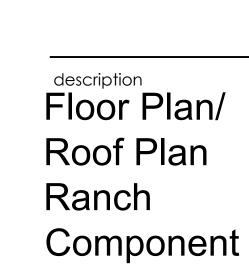
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project

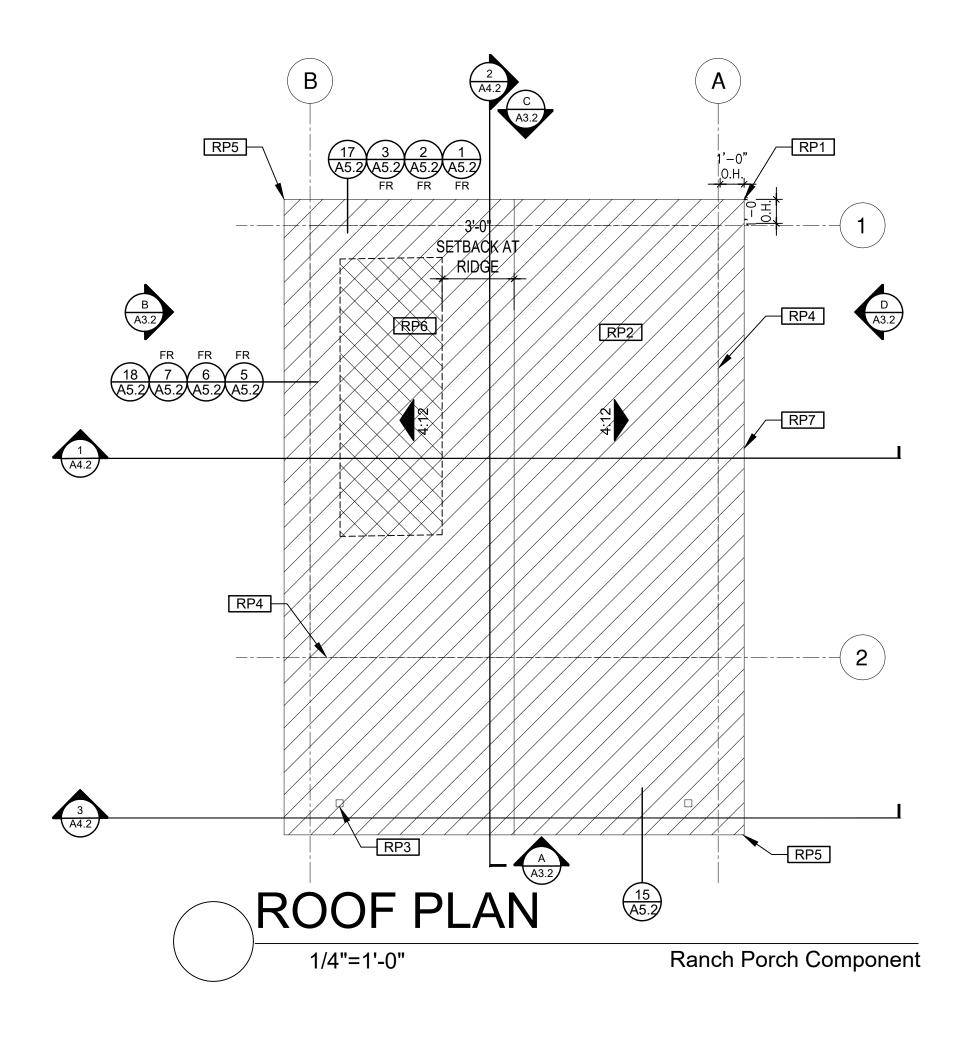
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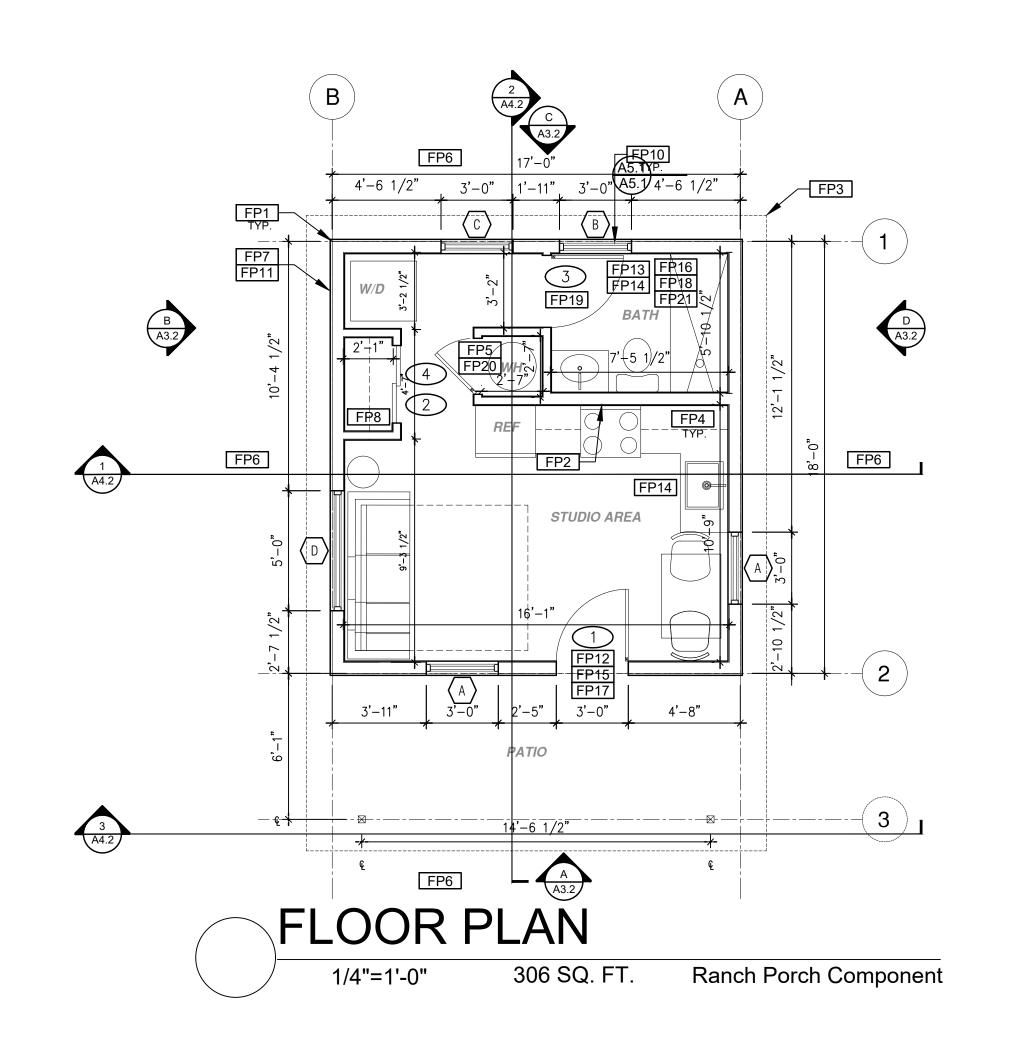
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SOLAR READY NOTES ROOF KEYNOTES FLOOR PLAN KEYNOTES LEGEND FP12 MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE RP1 LINE OF ROOF OVERHANG FP1 STUD WALL SIZED PER STRUCTURAL SOLAR READY ROOF AREA: X KEYNOTE **SECTION CUT** MIN DIMENSION > 5FT. MIN. SF. > 80SF. RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH DOOR SERVED AND HAVE A MIN 36 INCH DEPTH PER CALIFORNIA ENERGY CODE SECTION 110.10(b) MEASURED IN THE DIRECTION OF TRAVEL. OF NOT LESS THAN 32 INCHES WHERE MEASURED MECHANICAL / PLUMBING / VENTING 13 ON SHEET G0.2 EXTERIOR LANDINGS SHALL BE PERMITTED TO BETWEEN THE FACE OF THE DOOR AND THE STOP, THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, FP3 LINE OF OVERHANG ABOVE RP3 SUPPORT POST BELOW WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE HAVE A SLOPE NOT TO EXCEED $\frac{1}{4}$ " PER FOOT. AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS **ELEVATION** DOOR SYMBOL DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES LANDINGS OR FINISHED FLOORS AT EGRESS DOOR OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION CALLOUT FP4 36" HIGH COUNTER RP4 LINE OF WALLS BELOW IN HEIGHT MEASURED FROM THE TOP OF THE SHALL NOT BE MORE THAN 1.5" LOWER THAN THE THRESHOLD TO THE BOTTOM OF THE STOP TOP OF THE THRESHOLD FOR OUTWARD SWINGING SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF FP5 WATER HEATER RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN FP13 SURROUND AROUND THE SHOWER MUST BE OUTWARD. FP6 SLOPE SURFACE AWAY FROM BUILDING TEMPERED. GLAZING IN THE WALLS/DOORS FACING WINDOW SYMBOL FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR DETAIL RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, DRAWING REF. APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE READY NOTES ON THIS SHEET FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR OR TUB WITH SHOWERS. MATERIALS OTHER THAN INDOOR/OUTDOOR SWIMMING POOLS WHERE THE RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION STRUCTURAL ELEMENTS ARE TO BE MOISTURE SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW RESISTANT. CRC R307.2 FP8 CLOSET SHELF AND POLE THAN 60" ABOVE THE STANDING SURFACE. WALL BELOW OR -----X'-X" CEILING HEIGHTS TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS 1/16" OPENING SIZE ON VENT SCREEN WITH EXCEPTION: GLAZING THAT IS MORE THAN 60", ROOF ABOVE FP17 DOOR BELL BUTTON TO BE NO MORE THEN CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FP9 EMERGENCY EGRESS WINDOW MEASURED HORIZONTALLY, FROM THE WATER'S 48" ABOVE EXTERIOR FLOOR OR LANDING SF OF VENTING PER 150 SF OF ENCLOSED RAFTER EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL MINIMUM PV SIZE BASED ON EXAMPLE ENERGY CALCULATIONS _____1.40 ____ kWd AREA IN NON-FIRE RATED CONSTRUCTION PLEASE FP10 WINDOW MUST HAVE A FRAME AND SASH OR SWIMMING POOL. FP18 WATER CLOSET AND SHOWER TO HAVE SEE VENTING CALCULATIONS OF THIS SHEET FOR TO BE UPDATED WITH SITE SPECIFIC ENERGY CALCULATIONS. VARIES) VAULTED CEILING COMPRISED OF WELDED CORNERS, METAL FP14 PER SECTION 301.1.1 CALGREEN AND CIVIL CODE SOLAR ZONE. REFER REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO NON VENTED EAVES SEE INSULATIONS DETAILS 4, 8, REINFORCEMENT IN THE INTERLOCK AREA. AND TO SOLAR NOTES ON 1101.3(c). ALL PLUMBING FIXTURES SHALL BE 39.5" ABOVE FINISH FLOOR, SEE FLOOR PLAN GENERAL AND 12 ON SHEET A5.2. CONSTRUCTED OF MULTIPANE TEMPERED GLAZING SHEET G0.2 COMPLIANT WATER -CONSERVING PLUMBING NOTE #31 ON SHEET G0.2 FOR FURTHER INFORMATION WHERE INDICATED TYPICAL ALL WINDOWS **VENTING CALCULATIONS** FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FP19 DOOR TO HAVE A NET CLEAR ROOF SLOPE FURTHER INFORMATION FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION OPENING OF 32" FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM ROOFING AREA FOR FUTURE INSTALLATION OF A HEAT ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR PUMP WATER HEATER PER CEC 2022 SECTION ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 306 SF. VENTILATION AREA REQUIRED: 306 SF./150SF.= 2.04 SF. FP21 FURRING AS NEEDED FOR STANDARD TUB AND CONVERT TO SQ. IN: <u>2.04 SF. x 144 = 294</u> SQ. IN. MINIMUM VENTILATION AREA REQUIRED: <u>294</u> SQ. IN.

revisions



X KEYNOTE

X'-X"

VARIES)

DOOR SYMBOL

WINDOW SYMBOL

CEILING HEIGHTS

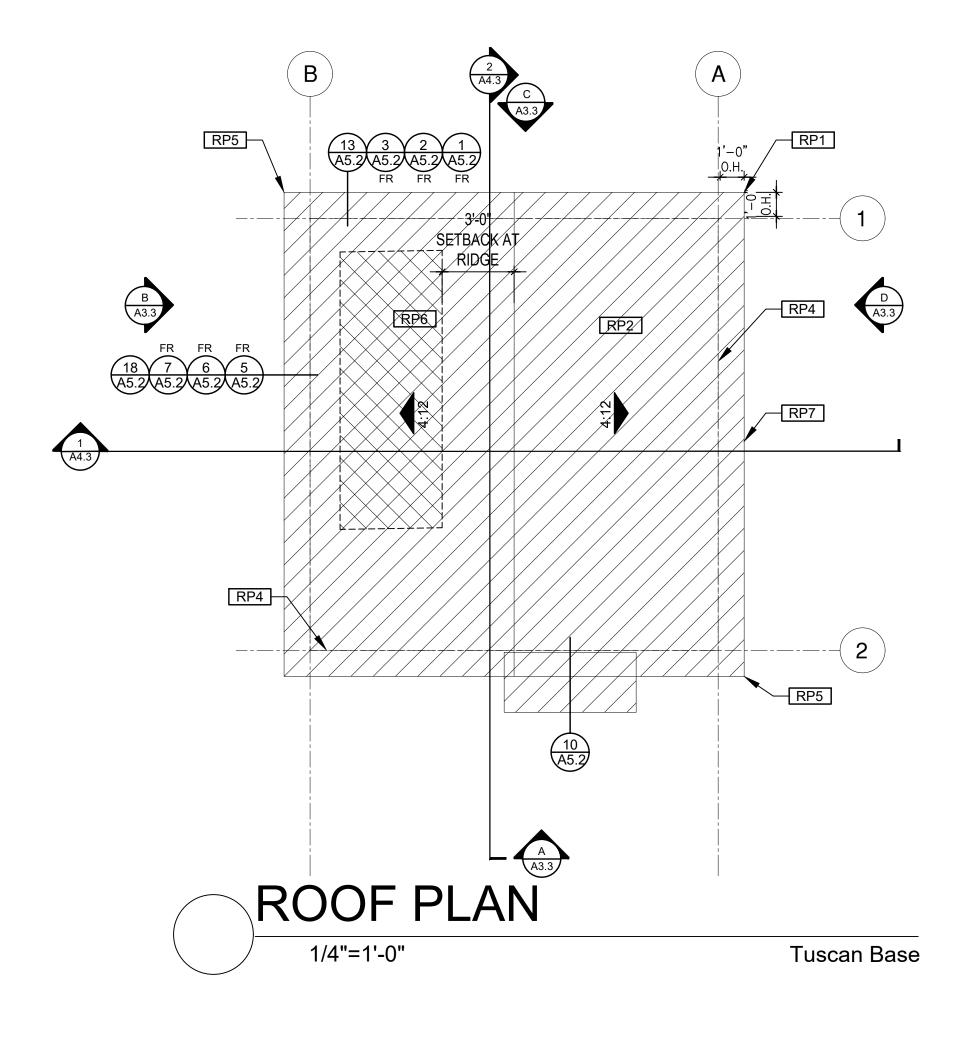
VAULTED CEILING

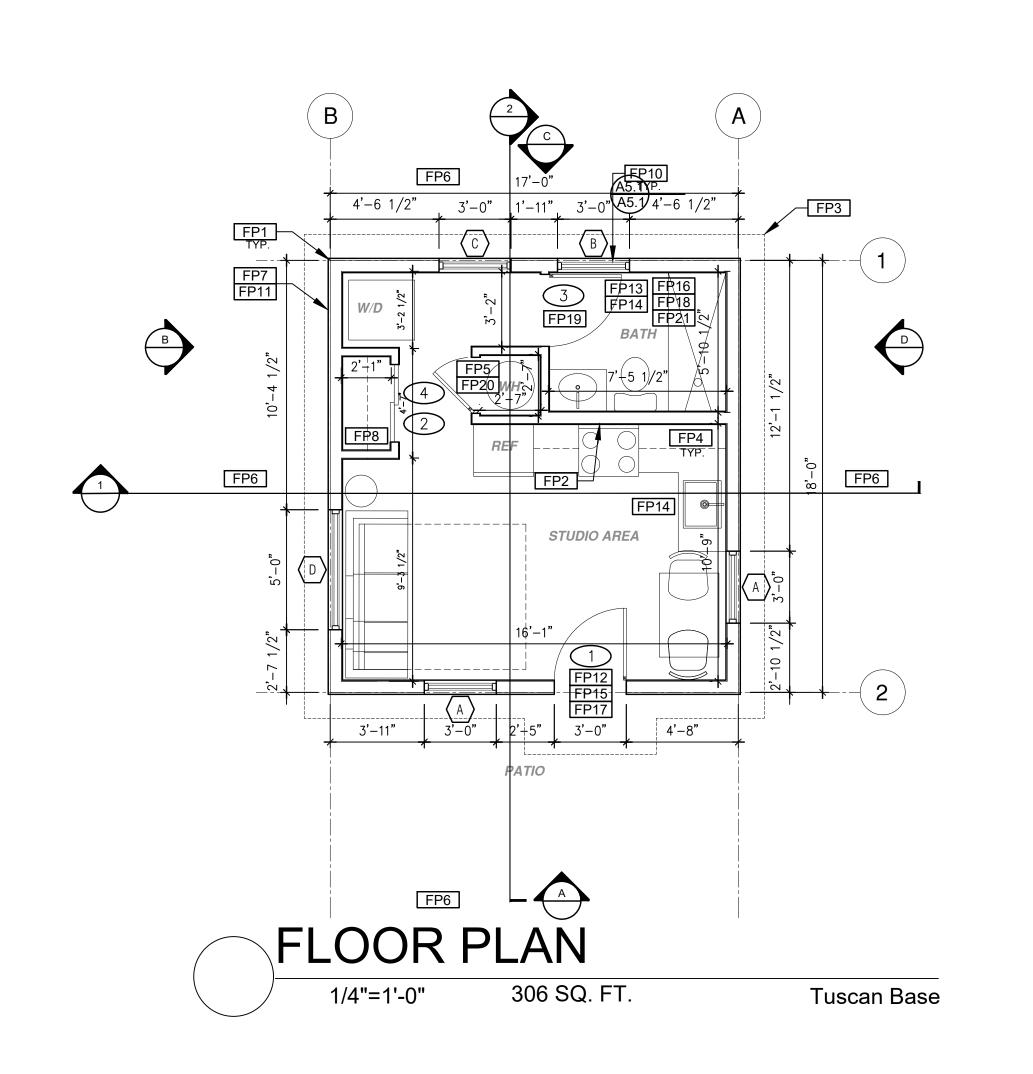
ROOF SLOPE



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LEGEND

SECTION CUT

ELEVATION

CALLOUT

DETAIL

DRAWING REF.

WALL BELOW OR

SOLAR ZONE. REFER

TO SOLAR NOTES ON

ROOF ABOVE

SHEET G0.2

ROOFING

ROOF KEYNOTES FLOOR PLAN KEYNOTES FP12 MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL RP1 LINE OF ROOF OVERHANG FP1 STUD WALL SIZED PER STRUCTURAL RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED MECHANICAL / PLUMBING / VENTING 13 ON SHEET G0.2 BETWEEN THE FACE OF THE DOOR AND THE STOP, FP3 LINE OF OVERHANG ABOVE RP3 SUPPORT POST BELOW WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES FP4 36" HIGH COUNTER RP4 LINE OF WALLS BELOW IN HEIGHT MEASURED FROM THE TOP OF THE

RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS

READY NOTES ON THIS SHEET

AND 12 ON SHEET A5.2.

RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR

THRESHOLD TO THE BOTTOM OF THE STOP FP5 WATER HEATER FP13 SURROUND AROUND THE SHOWER MUST BE FP6 SLOPE SURFACE AWAY FROM BUILDING TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE

BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60", MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.

FP14 PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER -CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION

FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED ¹/₄" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OUTWARD.

APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2

FP17 DOOR BELL BUTTON TO BE NO MORE THEN 48" ABOVE EXTERIOR FLOOR OR LANDING FP18 WATER CLOSET AND SHOWER TO HAVE

FP19 DOOR TO HAVE A NET CLEAR OPENING OF 32" FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT

REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. MINIMUM PV SIZE BASED ON EXAMPLE ENERGY CALCULATIONS _____1.40 ____ kWd TO BE UPDATED WITH SITE SPECIFIC ENERGY CALCULATIONS. **VENTING CALCULATIONS**

ENCLOSED RAFTER AREA.

SOLAR READY NOTES

SOLAR READY ROOF AREA:

MIN DIMENSION > 5FT. MIN. SF. > 80SF.

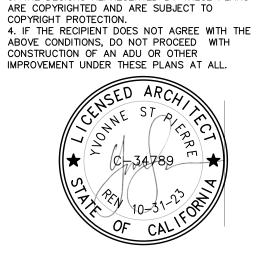
ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA: 306 SF. VENTILATION AREA REQUIRED: 306 SF./150SF.= 2.04 SF.

RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN FP8 CLOSET SHELF AND POLE 1/16" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 FP9 EMERGENCY EGRESS WINDOW SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE FP10 WINDOW MUST HAVE A FRAME AND SASH SEE VENTING CALCULATIONS OF THIS SHEET FOR COMPRISED OF WELDED CORNERS, METAL NON VENTED EAVES SEE INSULATIONS DETAILS 4, 8, REINFORCEMENT IN THE INTERLOCK AREA. AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION

PER CALIFORNIA ENERGY CODE SECTION 110.10(b) THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS

REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR, SEE FLOOR PLAN GENERAL NOTE #31 ON SHEET G0.2 FOR FURTHER INFORMATION

PUMP WATER HEATER PER CEC 2022 SECTION FP21 FURRING AS NEEDED FOR STANDARD TUB AND CONVERT TO SQ. IN: <u>2.04 SF. x 144 = 294</u> SQ. IN. MINIMUM VENTILATION AREA REQUIRED: <u>294</u> SQ. IN.



3. THE DESIGNS REPRESENTED BY THESE PLANS

PATH STUDIO OR ITS ARCHITECTS.

project

City of Moreno Valley Permitted **ADU Plan Set**

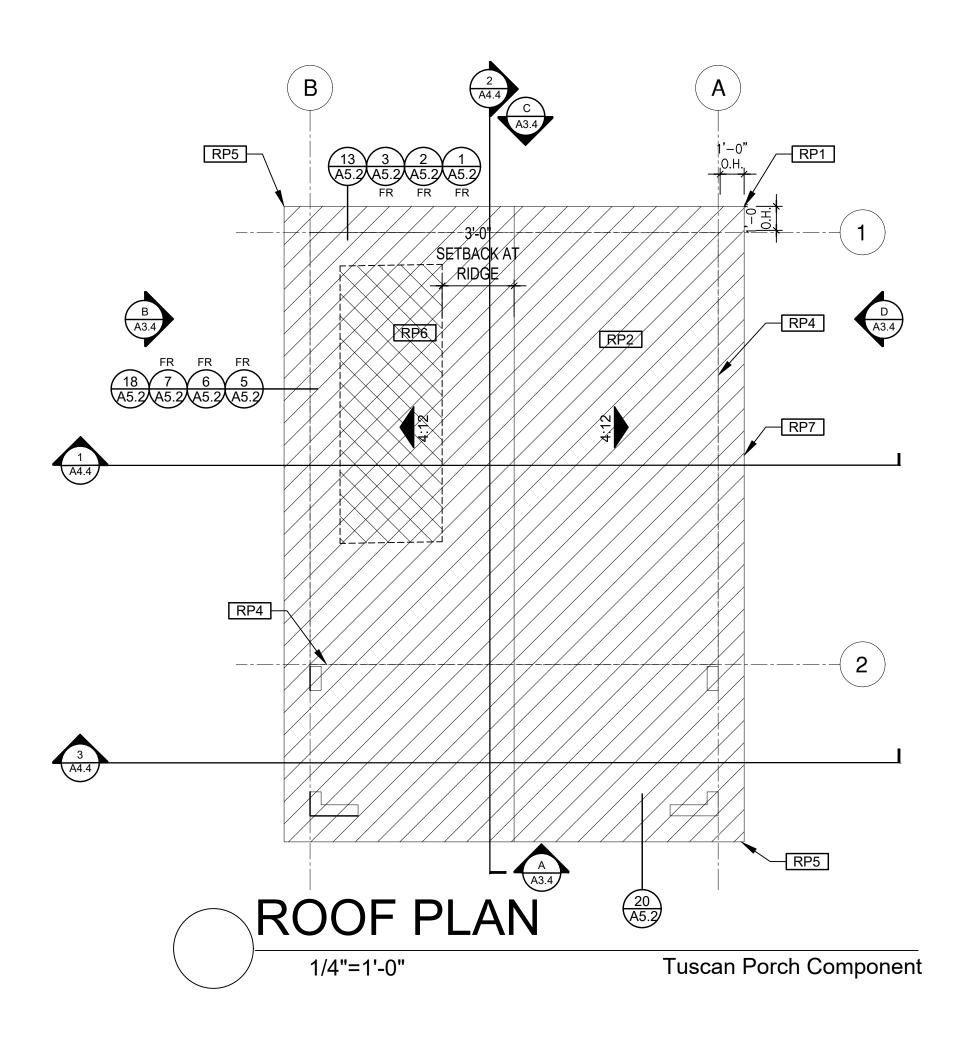
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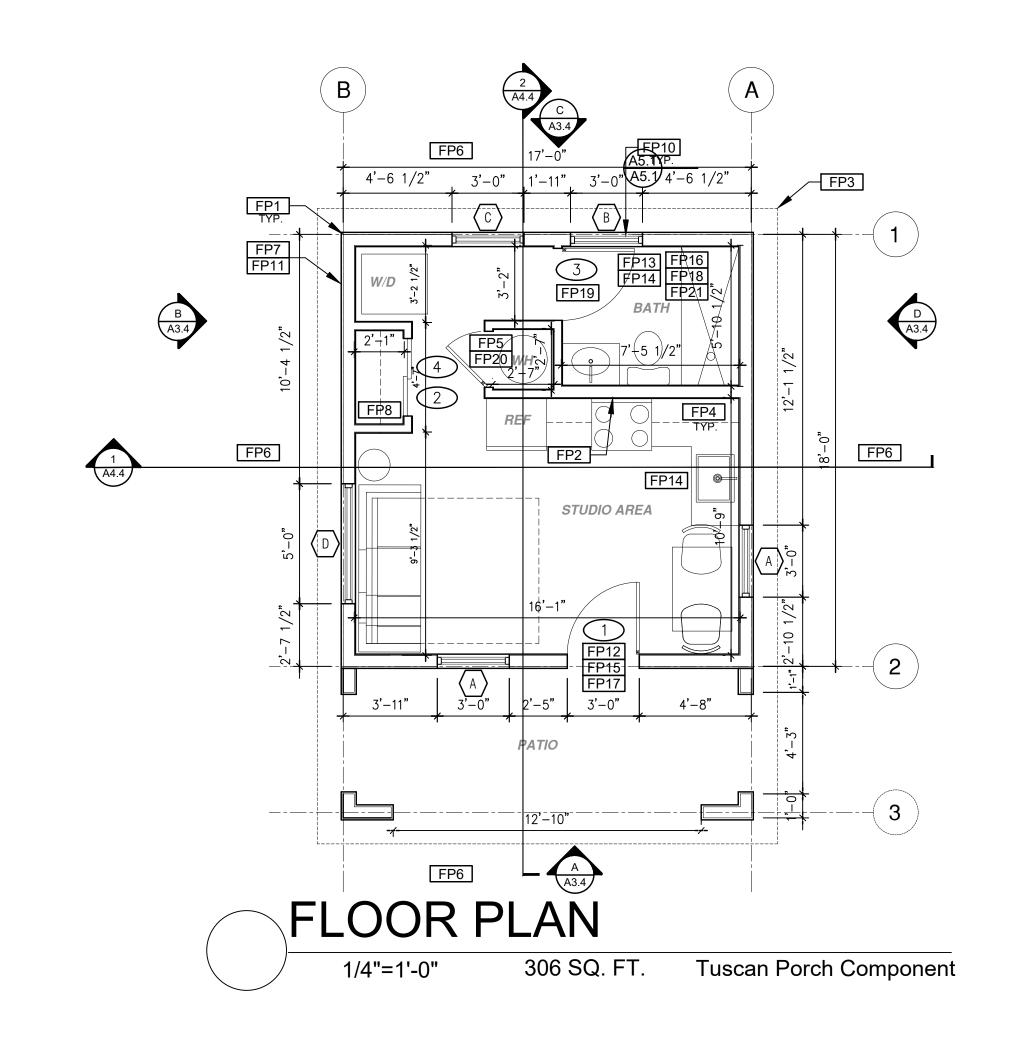
Floor Plan/ Roof Plan Tuscan Porch

project no. 2024_Moreno ADU

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sheet no.





RP1 LINE OF ROOF OVERHANG RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2 RP3 SUPPORT POST BELOW RP4 LINE OF WALLS BELOW RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS

RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET

RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN 1/16" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET FOR NON VENTED EAVES SEE INSULATIONS DETAILS 4, 8, AND 12 ON SHEET A5.2.

FP3 LINE OF OVERHANG ABOVE

FP6 SLOPE SURFACE AWAY FROM BUILDING

FP9 EMERGENCY EGRESS WINDOW

FP10 WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA. AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS

FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION

FP12 MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE

THRESHOLD TO THE BOTTOM OF THE STOP FP13 SURROUND AROUND THE SHOWER MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60", MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.

FP14 PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER -CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION

FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED $\frac{1}{4}$ " PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING

OUTWARD. FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2 FP17 DOOR BELL BUTTON TO BE NO MORE THEN

48" ABOVE EXTERIOR FLOOR OR LANDING

FP18 WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR, SEE FLOOR PLAN GENERAL NOTE #31 ON SHEET G0.2 FOR FURTHER INFORMATION FP19 DOOR TO HAVE A NET CLEAR

OPENING OF 32" FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT PUMP WATER HEATER PER CEC 2022 SECTION

SOLAR READY ROOF AREA: MIN DIMENSION > 5FT. MIN. SF. > 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b) THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION

SOLAR READY NOTES

TO BE UPDATED WITH SITE SPECIFIC ENERGY CALCULATIONS.

VENTING CALCULATIONS

ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 306 SF. VENTILATION AREA REQUIRED: 306 SF./150SF.= 2.04 SF.

SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN WINDOW SYMBOL DETAIL DRAWING REF. FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW WALL BELOW OR -----X'-X" CEILING HEIGHTS TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS ROOF ABOVE REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. MINIMUM PV SIZE BASED ON EXAMPLE ENERGY CALCULATIONS _____1.40 ____ kWd VARIES) VAULTED CEILING SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2 ROOF SLOPE ROOFING ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR

SECTION CUT

ELEVATION

CALLOUT

X KEYNOTE

DOOR SYMBOL

LEGEND

ROOF KEYNOTES FLOOR PLAN KEYNOTES

> FP1 STUD WALL SIZED PER STRUCTURAL FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR

MECHANICAL / PLUMBING / VENTING

FP4 36" HIGH COUNTER FP5 WATER HEATER

FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING FP8 CLOSET SHELF AND POLE

FP21 FURRING AS NEEDED FOR STANDARD TUB AND

CONVERT TO SQ. IN: <u>2.04 SF. x 144 = 294</u> SQ. IN. MINIMUM VENTILATION AREA REQUIRED: <u>294</u> SQ. IN.

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MP2/MP7

PATIO

MAXIMUM UNIT LOADING AND MAXIMUM LENGTH OF DRAINAGE AND VENT PIPING

SIZE OF PIPE (inches)	11/4	11/2	2	3	4	5	6	8	10	12
Maximum Units Drainage Piping [†]										
Vertical	1	22, 7	16 ³	48 ⁴	256	600	1380	3600	5600	8400
Horizontal	1	17	83	35 ⁴	216 ⁵	428 ⁵	720 ⁵	2640 ⁵	4680 ⁵	8200 ⁵
Maximum Length Drainage Piping Vertical, (feet) Horizontal (unlimited)	45	65	85	212	300	390	510	750	s—s	-
Vent Piping Horizontal and Vertical ⁶							0		*	
Maximum Units	1	83	24	84	256	600	1380	3600		
Maximum Lengths, (feet)	45	60	120	212	300	390	510	750	13 Tak	550

For SI units: 1 inch = 25 mm, 1 foot = 304.8 mm

¹ Excluding trap arm.

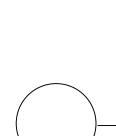
Except for sinks, urinals, and dishwashers — exceeding 1 fixture unit. ³ Except for six-unit traps or water closets.

Not to exceed five water closets or five six-unit traps.

5 Based on 1/4 inch per foot (20.8 mm/m) slope. For 1/8 of an inch per foot (10.4 mm/m) slope, multiply horizontal fixture units by a factor of 0.8.

The diameter of an individual vent shall be not less than 1^{1} / $_{4}$ inches (32 mm) nor less than one-half the diameter of the drain to which it is connected. Fixture unit load values for drainage and vent piping shall be computed from Table 702.1 and Table 702.2. Not to exceed one-third of the total permitted length of a vent shall be permitted to be installed in a horizontal position. Where vents are increased one pipe size for their entire length, the maximum length limitations specified in this table do not apply. This table is in accordance with the requirements of Section

7 Up to 8 public lavatories are permitted to be installed on a 11/2 inch (40 mm) vertical branch or horizontal sanitary branch sloped at 1/4 inch per foot (20,8 mm/m).



MECHANICAL / PLUMBING PLAN



ELECTRICAL PLAN

1/4"=1'-0"

PATIO

ELECTRICAL KEYNOTES

MP1 INDOOR UNIT MINI SPLIT SYSTEM. MP2 WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. OF WATER PER FLUSH, LAVATORIES LIMITED TO 1.2 GPM, KITCHEN FAUCETS NOT TO EXCEED 1.8

MECHANICAL / PLUMBING KEYNOTES

GPM AT 60 PSI THEY CAN INCREASE THE FLOW MOMENTARILY BUT CANT EXCEED 2.2GALLONS PER MIN. AT 60 PSI AND MUST DEFAULT TO A MAX. FLOW RATE OF 1.8GALLONS PER MIN AT 60 PSI., AND SHOWERS NOT EXCEED 1.8 GPM. AT 80 PSI AND ALL SHALL BE CERTIFIED TO MEET THE PERFORMANCE CRITERIA OF THE EPA WATERSENCE SPECIFICATIONS FOR SHOWERHEADS. CPC SECTIONS 407, 408, 411, 412 AND SECTION 301.1.1 CALGREEN CODE AND CIVIL CODE 1101.3(c)

MP3 EXHAUST HOOD ABOVE/ TO BE SMOOTH METALLIC INTERIOR SURFACE (CMC 504.3) MP4 NEW WATER HEATER - TO HAVE CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2' ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS GRAVITY DRAINAGE

MP5 CONTROL VALVES IN SHOWERS, BATHTUBS, & BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIX VALVES MP6 MINIMUM OF 3 FT CLEARANCE TO ANY OPENING

MP7 CLEARANCE FOR WATER CLOSET TO BE A MIN. MP13 OUTDOOR CONDENSING UNIT TO BE PIPED TO OF 24" IN FRONT, AND 15" FROM ITS CENTER TO

INTO BUILDING FOR EXHAUST FAN TERMINATIONS

ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5) MP14 A MINIMUM RATING HOOD OVER ELECTRICAL RANGE INDOOR AIR MP8 THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF WATER HEATER BOTH REQUIRE 1" INSULATION 750-1000 s.f., 110 cfm OR 50% CE AT 1000-1500 s.f., OR 110 cfm OR

MP9 DRYER EXHAUST OUTLET FROM DRYER TO EXTERIOR MAX LENGTH 14' WITH MAXIMUM OF TWO 90° ELBOWS.EXHAUST VENT MUST TERMINATE A MIN. OF 3' FROM ANY OPENING. MIN. TYPE 1 CLOTHES DRYER EXHAUST DUCTS SHALL BE OF RIGID METAL & SHALL HAVE SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL (100 MM), & THE THICKNESS SHALL BE NOT LESS THAN 0.016 OF AN INCH (0.406 MM). EXHAUST DUCTS & DRYER

VENTS SHALL BE EQUIPPED WITH BACK DRAFT MP10 NEW WATER HEATER WITH T&P RELIEF VALVE AND DISCHARGE PIPE AT EXTERIOR. PROVIDE COMBUSTION AIR AND CLEARANCES PER MANUFACTURER REQUIREMENTS.

MP11 WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING I FAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVES FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED

50% CE AT >1500 s.f.

MP12 ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: $\frac{1}{2}$ " PIPE ($\frac{1}{2}$ " INSULATION); ³" PIPE (1" INSULATION): 1" TO 1-1/2" PIPE (1-1/2" INSULATION)

E8 OVER-CURRENT FEEDER TO EXTEND TO INDOOR HVAC UNIT VOLTAGE DROP PER CEC 250.4 QUALITY FAN IS REQUIRED IN THE KITCHEN TO BE VENTED TO OUTDOORS AND SHALL BE HERS VERIFIED PER CEC TABLE E9 SEPARATE GROUND ELECTRODE SYSTEM PER 150.0-G: 160 cfm OR 65% CE AT <750 s.f, 130 cfm OR 55% CE AT

E1 DEDICATED 30 AMP/ 240V POWER FOR ELECTRIC E10 OUTDOOR CONDENSING UNIT RECEPTACLE DRYER OR OVEN. VERIFY REQUIREMENTS WITH APPLIANCE SPECIFICATIONS - ELECTRIC COOKTOP READY REQUIREMENTS ARE TO BE

READY 150.0(u) FOR REQUIREMENTS E2 OUTLET FOR NEW WATER HEATER WITHIN 3' OF WATER HEATER. E3 SUBPANEL LOCATION. ALTERNATE LOCATION TO

IMPLEMENTED, SEE SHEET G0.2, ELECTRIC

BE DETERMINED BY OWNER. MUST HAVE A 3' MINIMUM CLEARANCE IN FRONT OF PANEL E4 OUTLET AT COUNTER HEIGHT - SHALL COMPLY WITH CEC ARTICLE 210.52(C): IN KITCHENS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER; SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL

COUNTERTOPS 12" X 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONCE RECEPTACLE E5 OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION

IS MORE THAN 24"; ISLAND IN PENINSULAR

E6 OUTLET DEDICATED FOR INDOOR HVAC UNIT E7 WEATHER RESISTANT TYPE RECEPTACLES GFCI

EXISTING PANEL- ALUMINUM CONDUCTOR BURIED UNDER GROUND WITH AWG ALLOWABLE

OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF THE HEATING AND COOLING EQUIPMENT AND SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THIS RECEPTACLE SHALL BE GFCI-WP PROTECTED.

E11 A DISCONNECTING MEANS CAPABLE OF DISCONNECTING AIR-CONDITIONING AND REFRIGERATING EQUIPMENT, INCLUDING MOTOR-COMPRESSORS AND CONTROLLERS FROM THE CIRCUIT CONDUCTOR IS REQUIRED WITHIN SIGHT FROM THE EQUIPMENT LOCATION PER CEC SECTION 440.11

E12 PER CEC 2022 150.0(N).1.A.: THE DESIGNATED SPACE IS WITHIN 3 FEET FROM THE WATER HEATER AND IS TO COMPLY WITH ELECTRICAL NOTES 15&16 ON SHEET G0.2 E13 MAIN PANELBOARD LOCATION SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS. E14 ALL SINGLE-FAMILY RESIDENCES THAT INCLUDE

ONE OR TWO DWELLING UNITS SHALL MEET THE FOLLOWING ENERGY STORAGE SYSTEMS (ESS) READY REQUIREMENTS. ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CEC. SEE SHEET G0.2, ELECTRIC READY 150.0(s) FOR REQUIREMENTS E15 SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW FUTURE INSTALLATION OF A SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH WITHIN 3FT OF THE MAIN PANELBOARD. RACEWAYS

SHALL BE INSTALLED BETWEEN THE PANELBOARD & THE SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE CONNECTION OF BACKUP POWER SOURCE. E16 DOOR BELL BUTTON TO BE NO MORE THEN 48"

MECHANICAL / PLUMBING LEGEND MECHANICAL

BATHROOM EXHAUST FAN: MINIMUM 50 CFM TO BE DUCTED TO THE EXTERIOR AND SHALL PROVIDE FIVE AIR CHANGES PER HOUR. CFM AND NOISE RATING MAXIMUM 3 SONE FOR INTERMITTENT USE. SHALL BE AN ADJUSTMENT BETWEEN 50-80% HUMIDITY

ENERGY STAR RATED AND CONTROLLED BY A HUMIDISTAT CAPABLE OF IAQ FAN IS REQUIRED. PLEASE SEE UPDATED ENERGY CALCULATIONS FOR CFM REQUIRED. ONE OR MORE FANS (EITHER KITCHEN OR BATHROOM) TO OPERATE CONTINUOUSLY AT REQUIRED CFM PER TITLE 24 CALCULATIONS FOR INDOOR AIR QUALITY. AT THE IAQ FAN SWITCH, A LABEL CLEARLY DISPLAYING THE FOLLOWING OR EQUIVALENT TEXT IS REQUIRED: "THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE IT ON UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR. DUCT SYSTEMS ARE SIZED, DESIGNED AND

EQUIPMENT IS SELECTED USING THE FOLLOWING 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ ACCA 2 MANUAL J-2011 OR EQUIVALENT. 2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ ACCA I MANUEL D-2014 OR EQUIVALENT.

SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ ACCA 3 MANUAL S-2014 OR EQUIVALENT . RETURN AIR GRILLE, WALL MOUNTED SUPPLY AIR DIFFUSER, WALL MOUNTED

THERMOSTAT

ELECTRICAL LEGEND FIRE DETECTION

POWER/DATA SD SMOKE DETECTORS PER SECTION R314 DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP. SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM

WILL ACTIVATE ALL O F THE ALARMS IN THE UNIT. SHALL COMPLY WITH THE FOLLOWING: AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING-MOUNTED FAN

 NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM AT LEAST 20' FROM A COOKING APPLIANCE OR 10' FROM COOKING APPLIANCE WHEN THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.8.3.4 ITEM 4 AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING /COOLING SYSTEM CM CARBON MONOXIDE ALARM PERMANENTLY WIRED WITH BATTERY BACKUP PER SECTION R315. ALARMS SHALL BE INTERCONNECTED IN

SUCH A MANNER THAT THE ACTUATION OF ONE

ALARM WILL ACTIVATE ALL O F THE ALARMS IN

TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110 V DUPLEX U.O.N. GFI = WATER PROOF GFCI = COOKTOP/ GRILL 240 V O = OVEN 240 V

MW = MICROWAVE 110 V GD = GARBAGE DISPOSAL 110 V R = RANGE 220VC = COUNTER HEIGHT 6" ABV COUNTER IDU = INDOOR UNIT POWER 84" AFF W/D = WASHER/DRYER 30AMP/ 240AMP

CEILING, WATERPROOF OUTLET FLOOR MOUNTED DUPLEX SPECIAL PURPOSE CONNECTION (VOLTAGE SHALL MATCH APPLIANCE REQ.)

RECEPTACLE, VERIFY LOCATION IN SUB PANEL

CIRCUIT WIRING DOOR BELL BUTTON

CEILING FAN/LIGHT COMBO

UNDER COUNTER LIGHTING LOW VOLTAGE, LANDSCAPE LIGHT

MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. A. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF </= 50 % TO A MAXIMUM OF 80 %. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL(I.E. BUILT IN)

RESIDENTIAL ENERGY LIGHTING REQUIREMENTS:ES 150.0(K) *IN THE KITCHEN, AT LEAST ONE-HALE OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH FEFICACY *BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY. *ALL THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY. *OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES AND SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION (W/

PHONE / DATA / MEDIA

SWITCHING

SWITCH, MOUNT AT 43" AFF

THREE-WAY SWITCH

FOUR-WAY SWITCH

MOUNT 6" ABV COUNTER

DIMMER SWITCH

JUNCTION BOX FLUSH CEILING MOUNTED

FLUORESCENT FIXTURE (USE SHALLOW TYPE WHEN UNDER COUNTER) BATHROOM EXHAUST FAN REQUIREMENTS:PER CGBC 4.506.1- EACH BATHROOM SHALL BE

LIGHTING

CEILING, RECESSED, DIRECTIONAL, ZERO

CEILING, RECESSED, ZERO CLEARANCE IC

CEILING, RECESSED, ZERO CLEARANCE IC

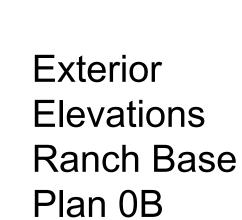
RATED, WATER RESISTANT, LED BULB

WALL MOUNTED LIGHT

CLEARANCE IC RATED LED BULB

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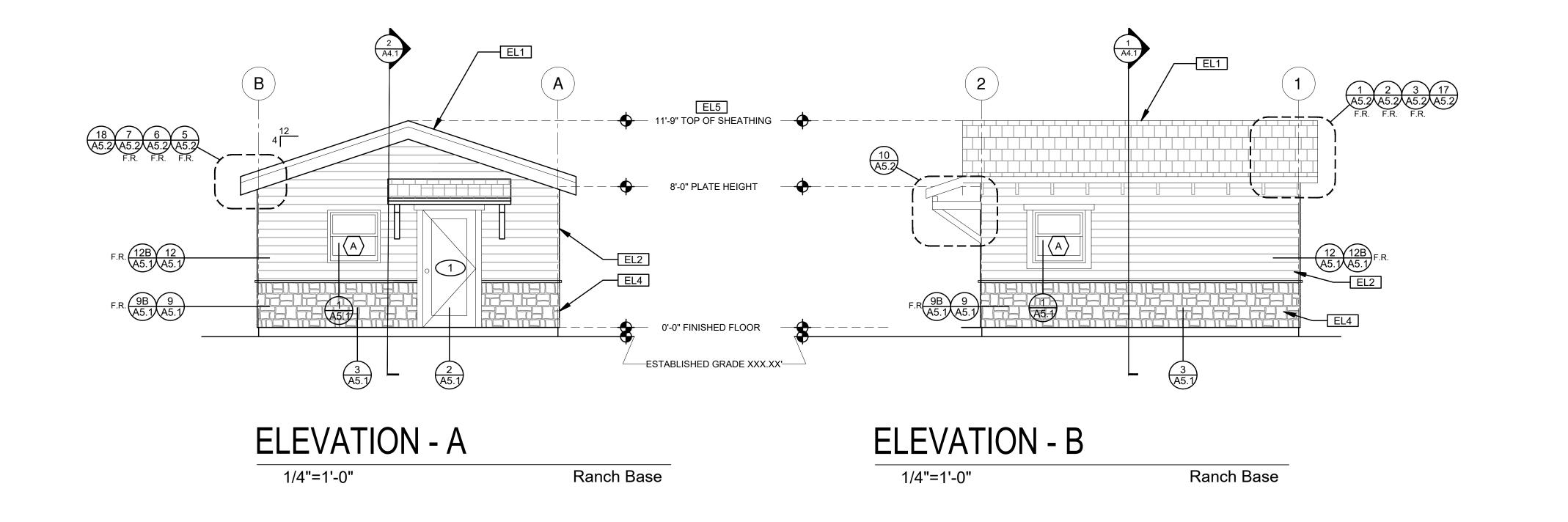
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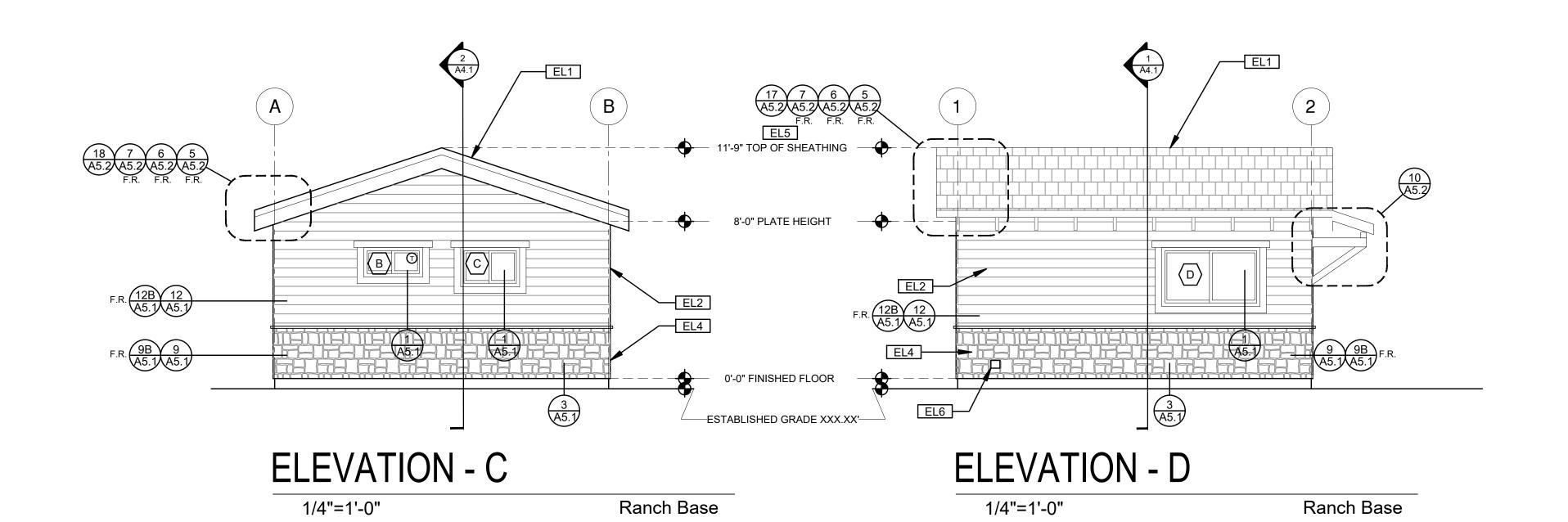


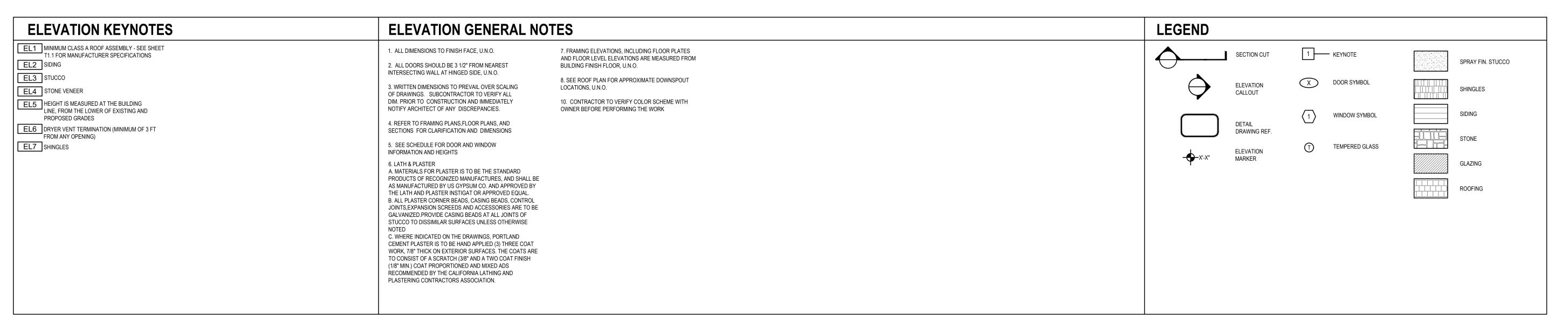
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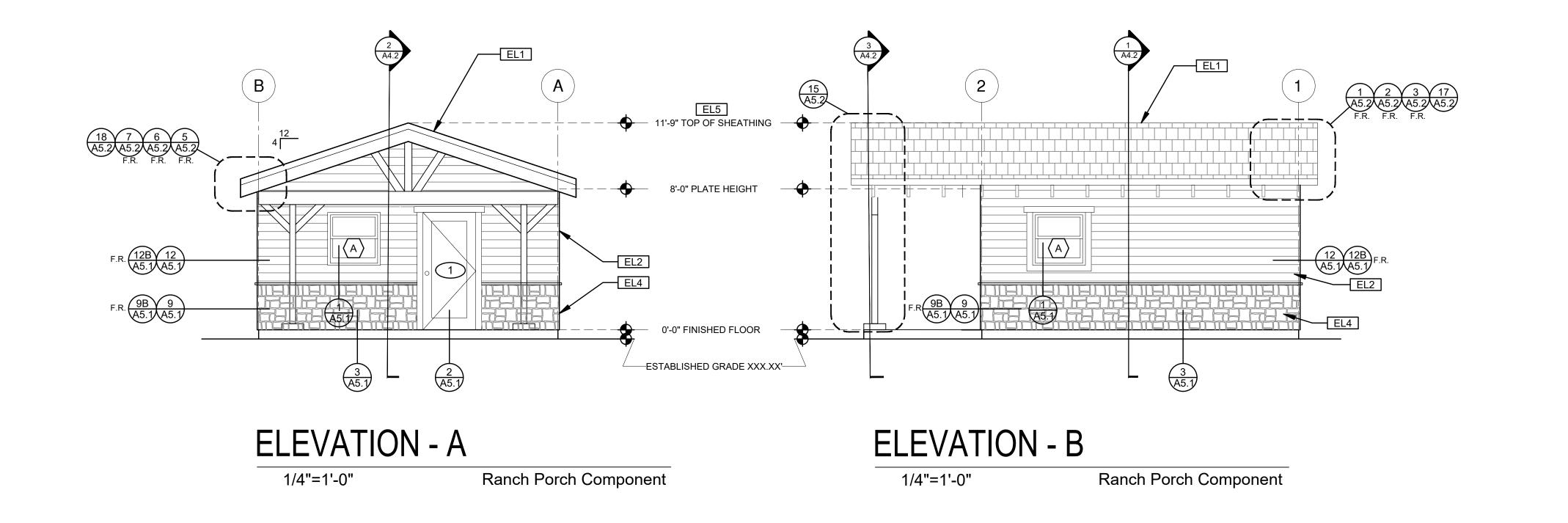
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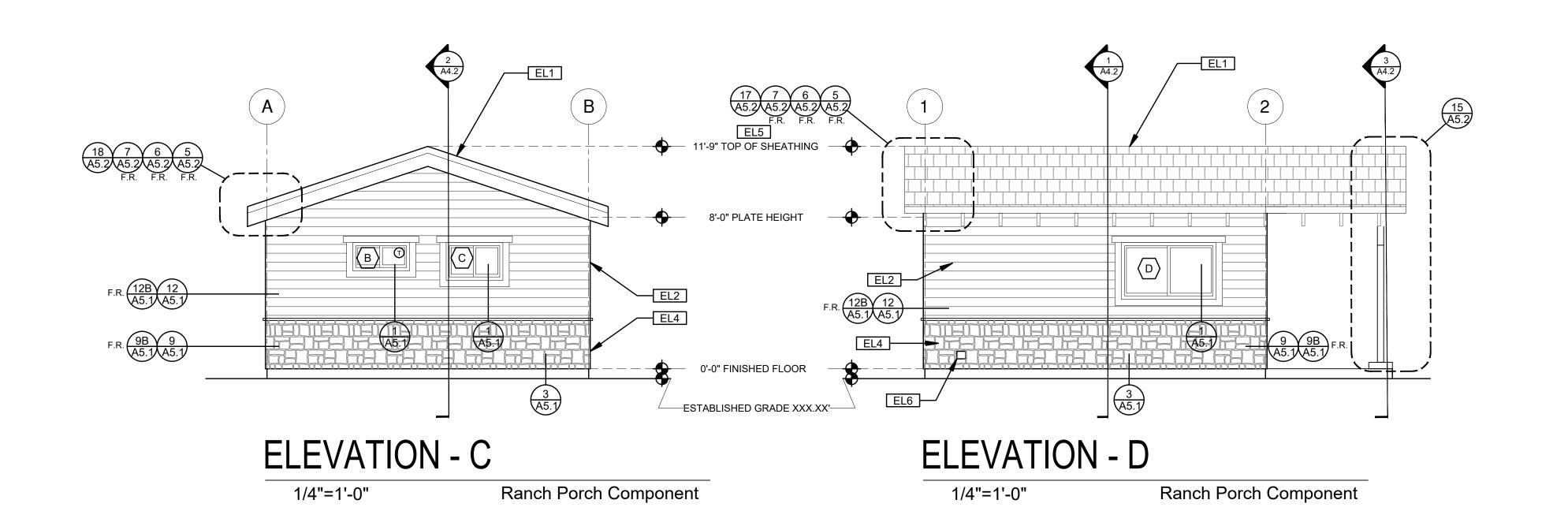
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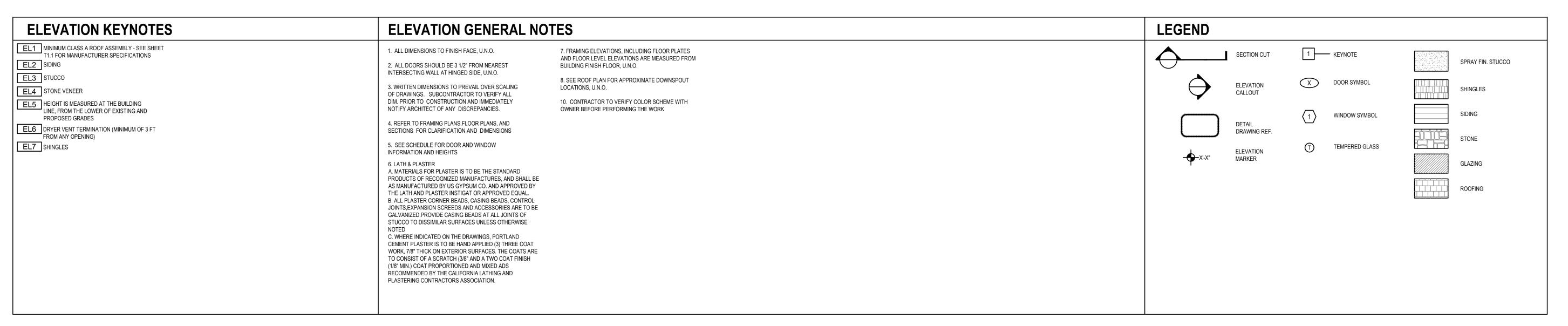
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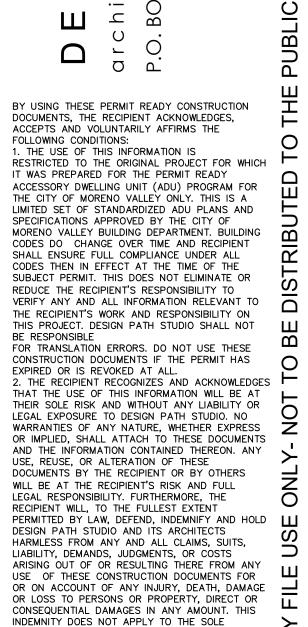


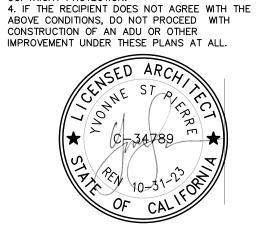
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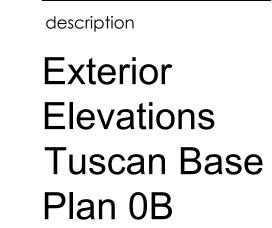
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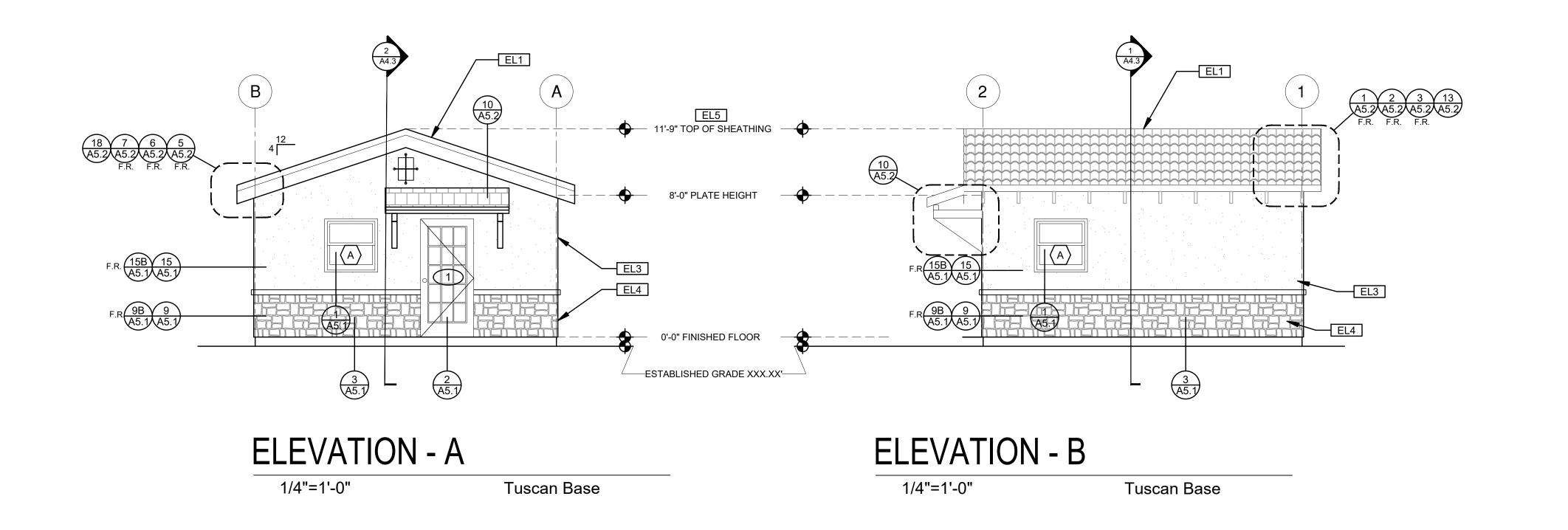
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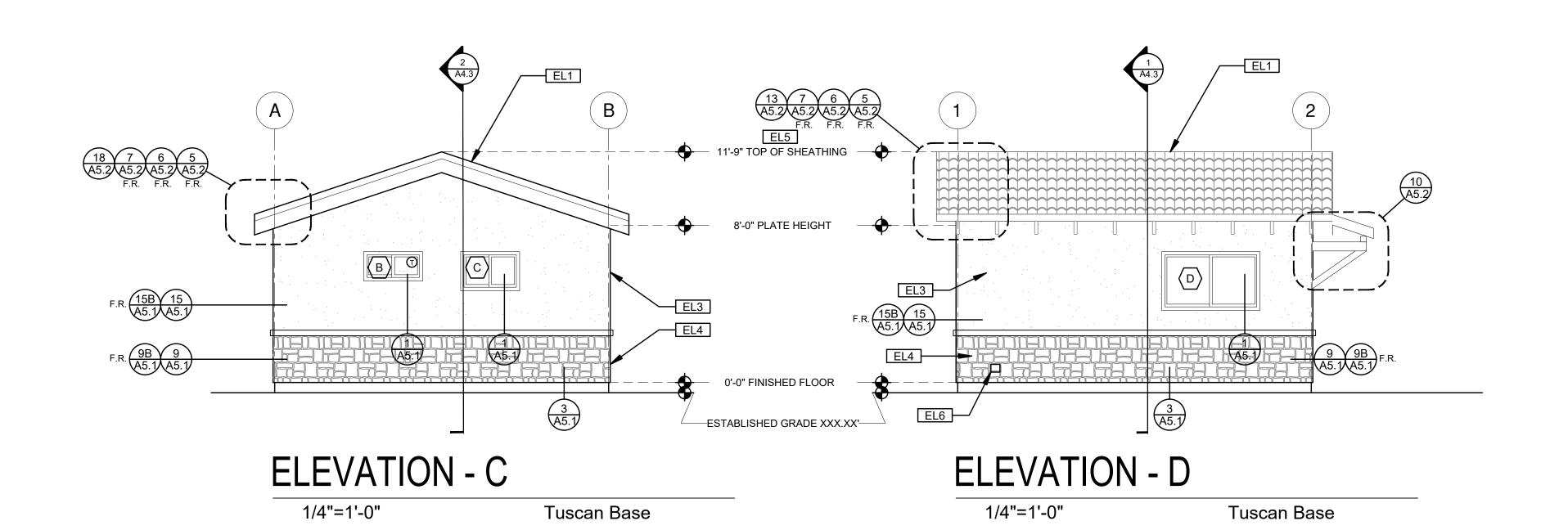
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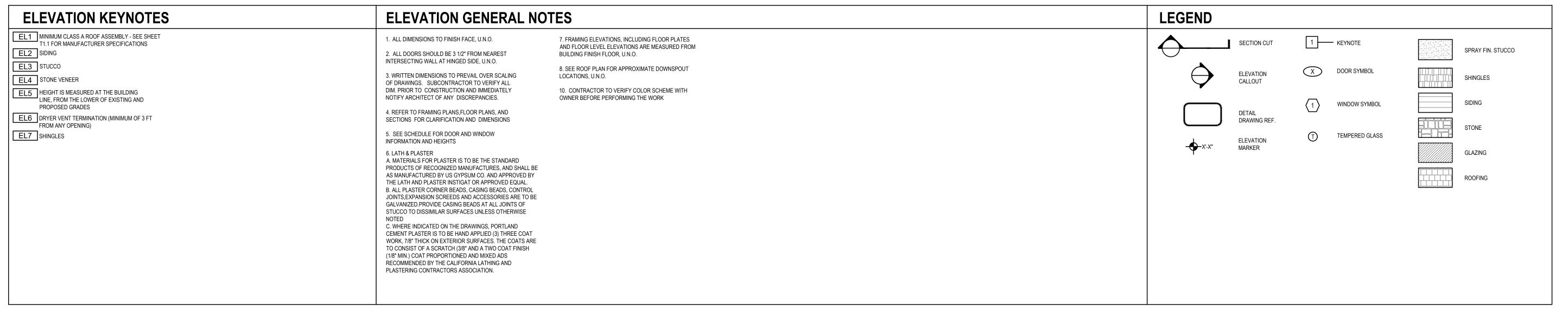
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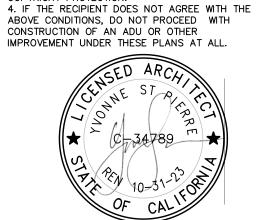


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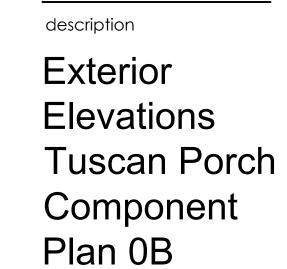




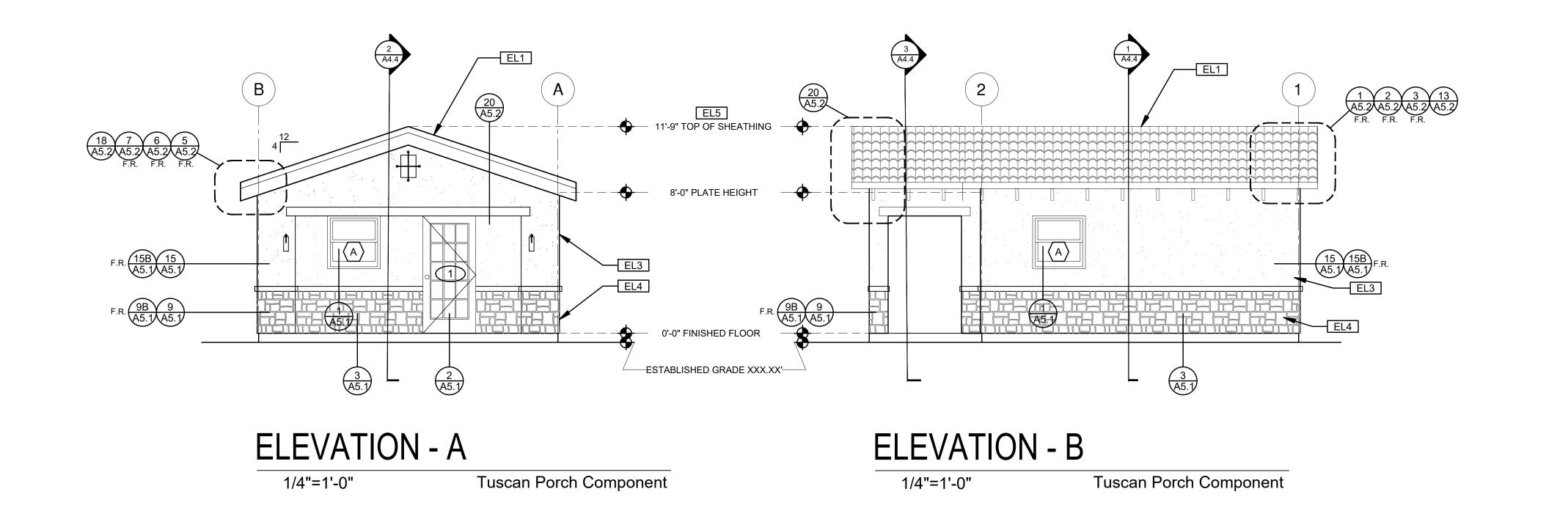
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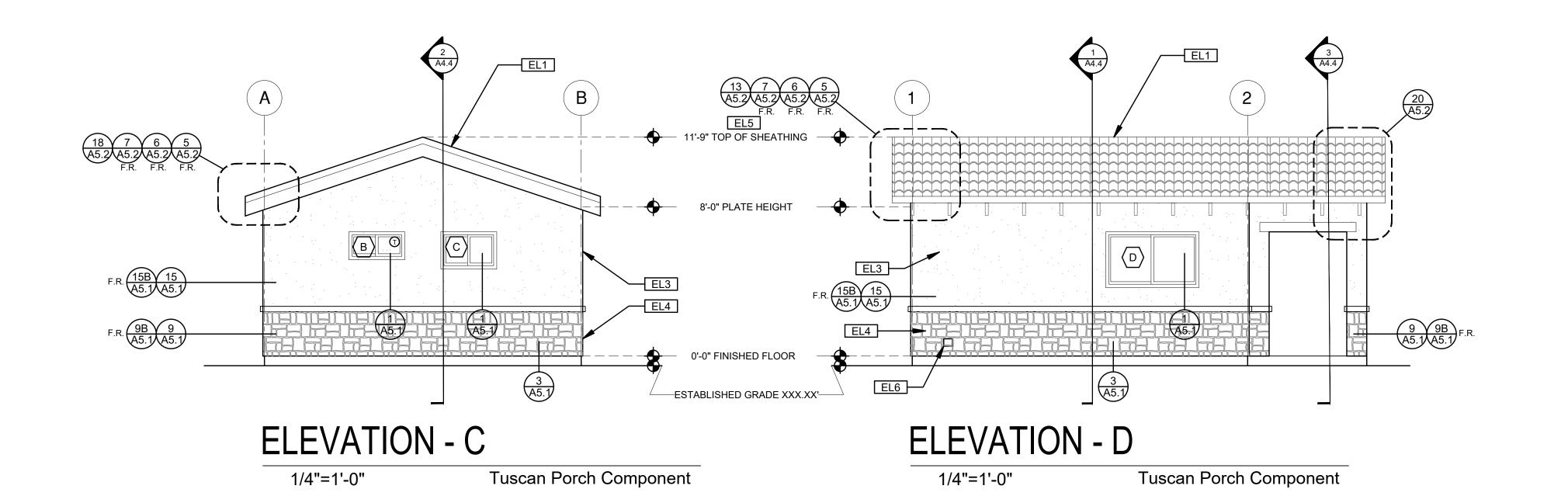
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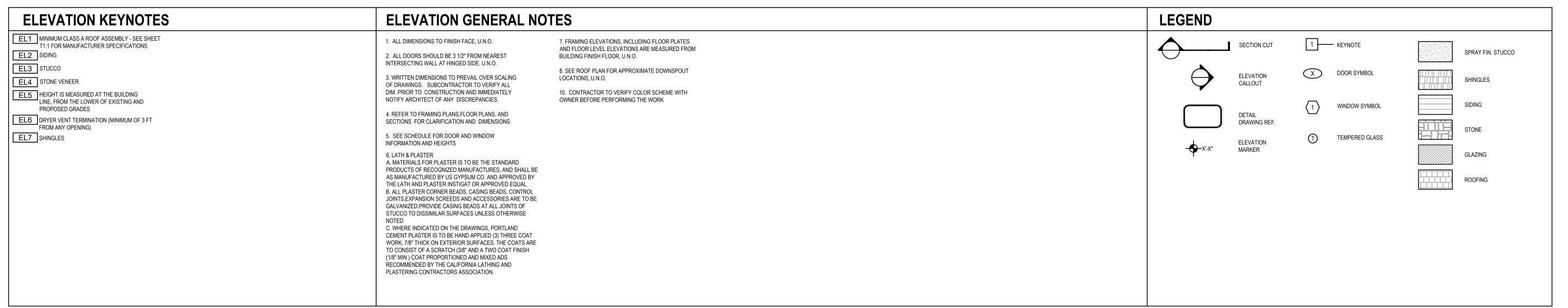
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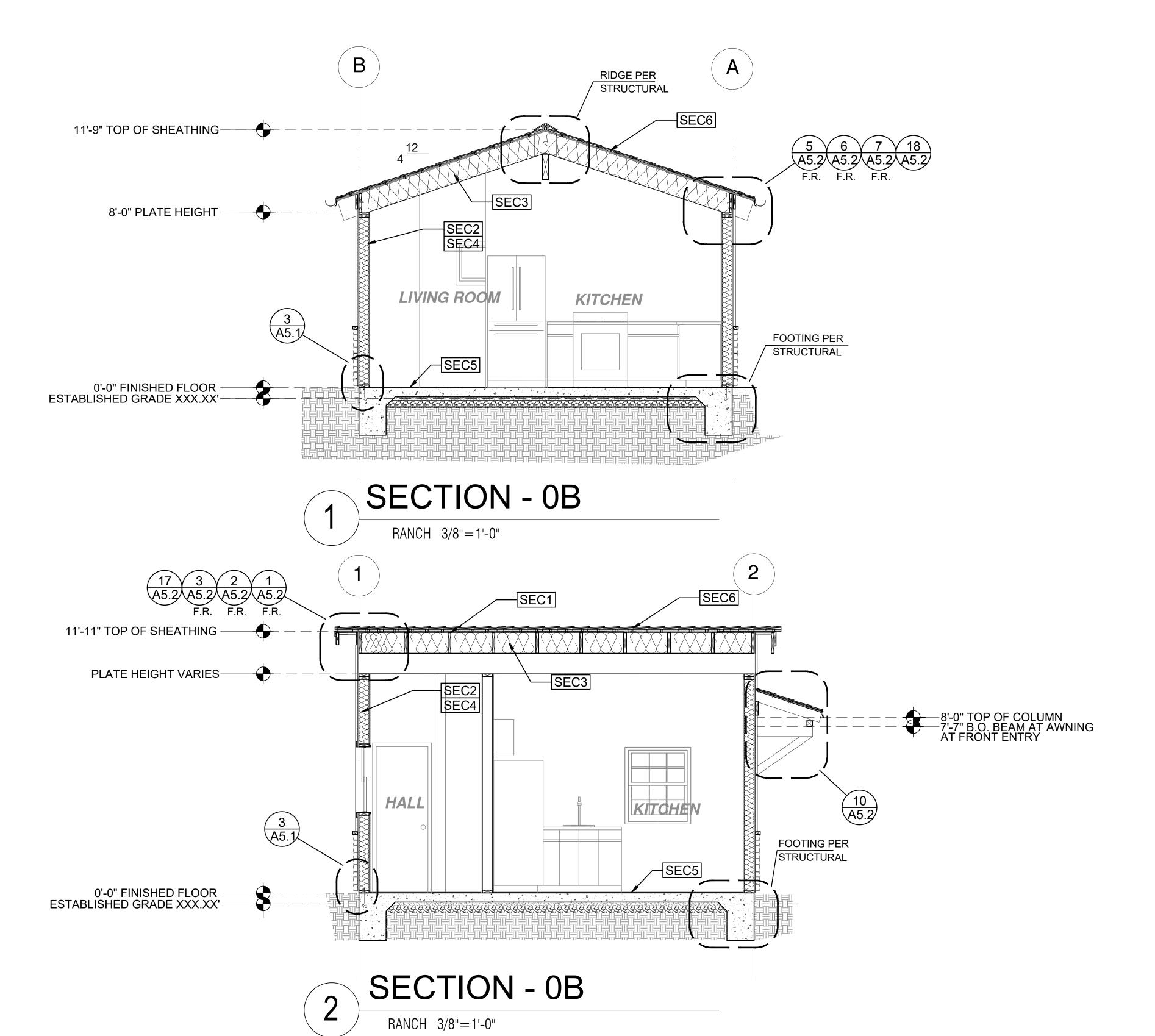


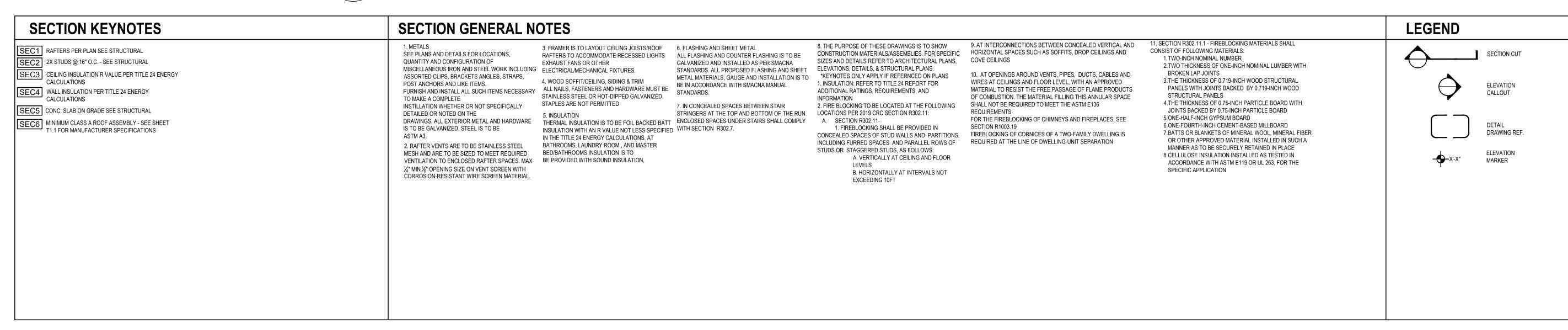


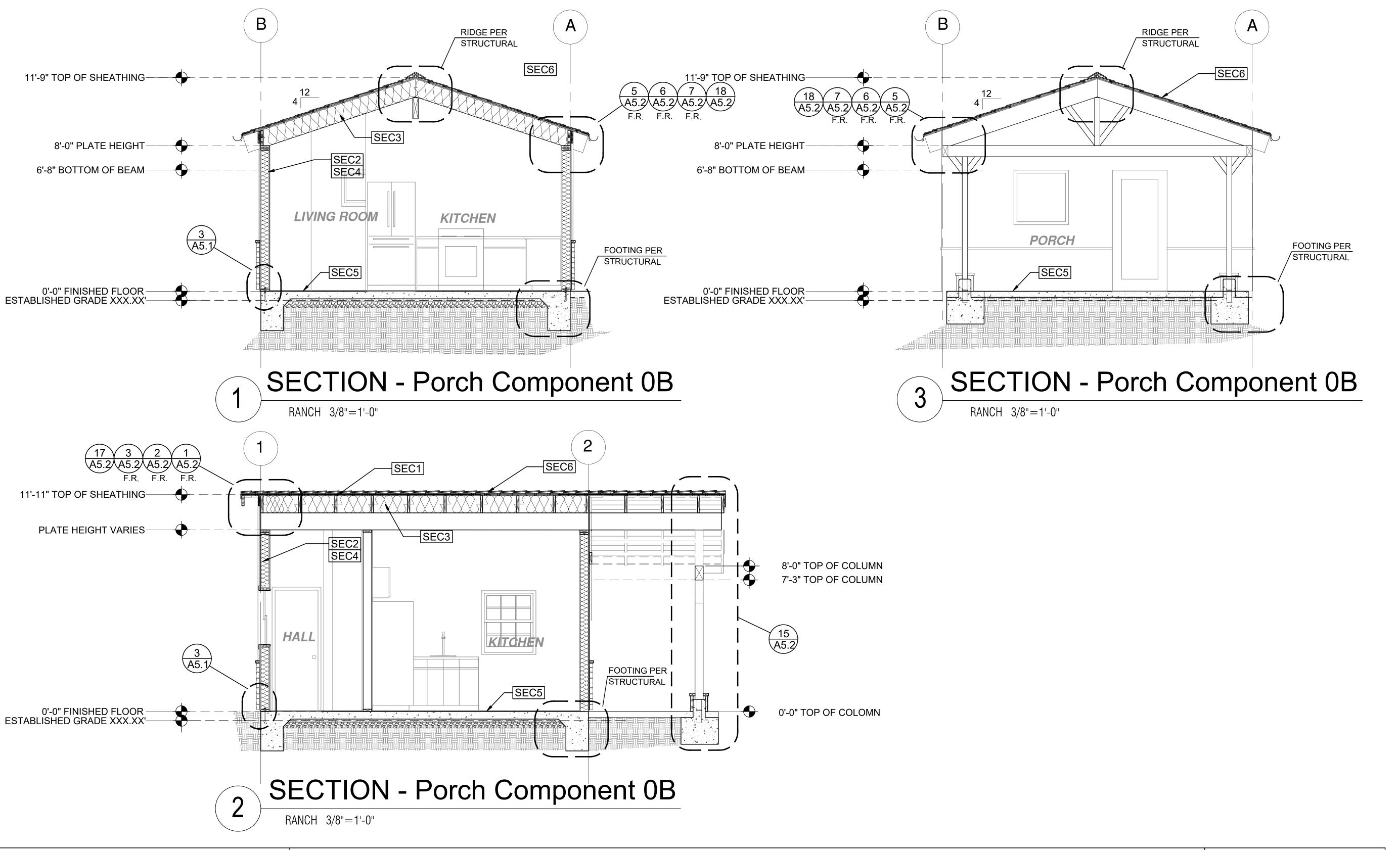
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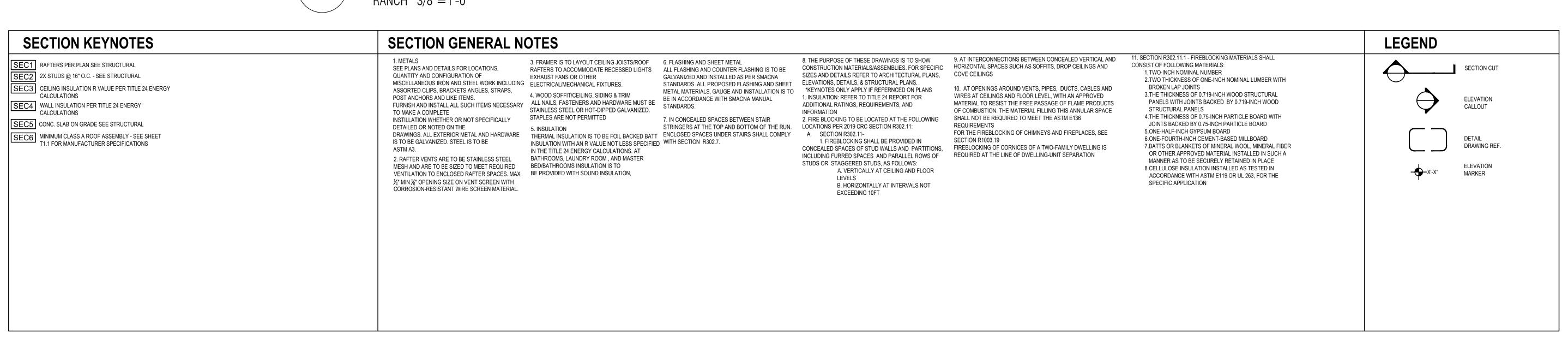


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Building
Sections
Ranch
Component

date

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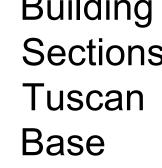
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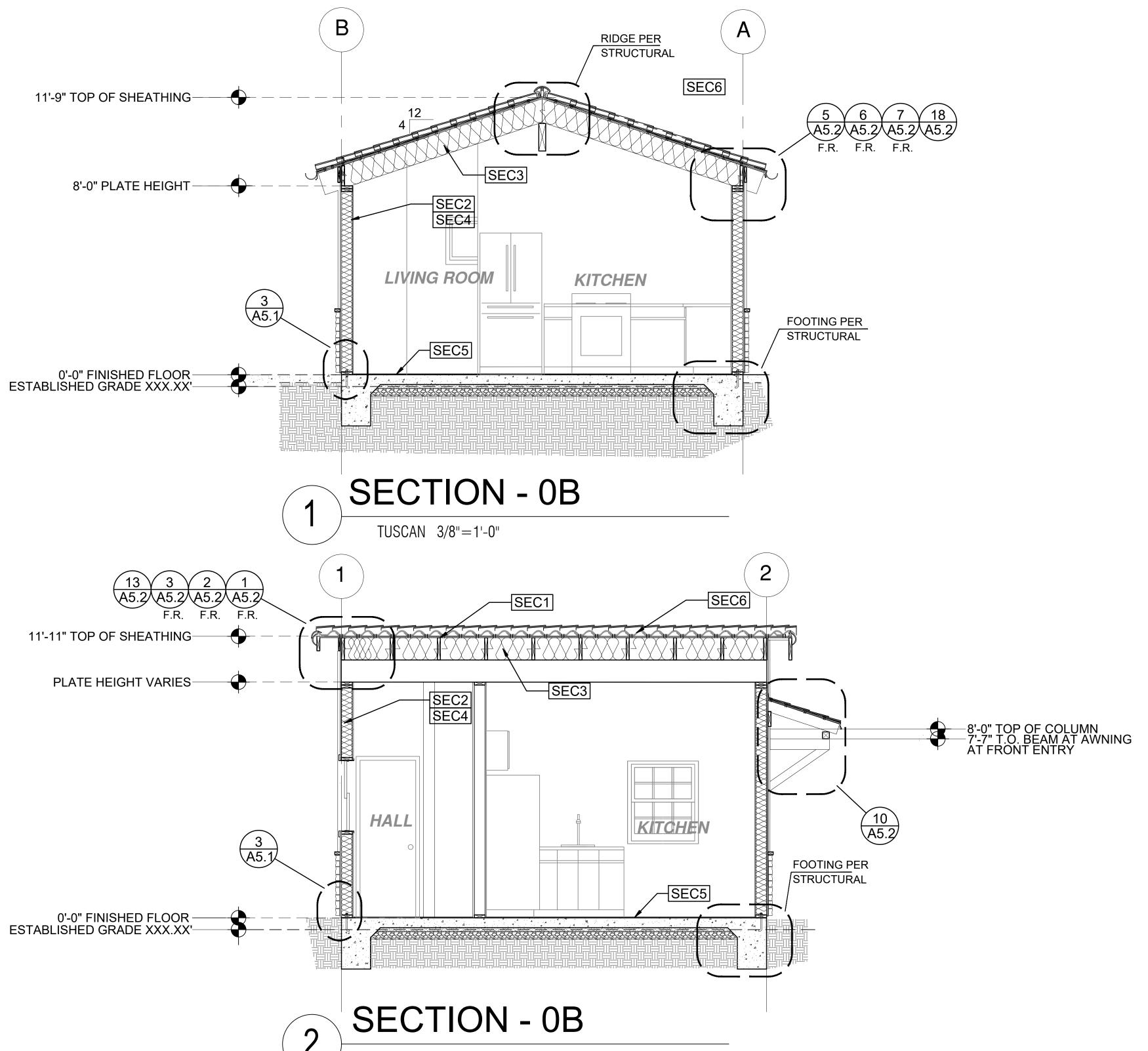
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TUSCAN 3/8"=1'-0"

SEE PLANS AND DETAILS FOR LOCATIONS,

ASSORTED CLIPS, BRACKETS ANGLES, STRAPS,

INSTILLATION WHETHER OR NOT SPECIFICALLY

DRAWINGS. ALL EXTERIOR METAL AND HARDWARE

QUANTITY AND CONFIGURATION OF

POST ANCHORS AND LIKE ITEMS.

DETAILED OR NOTED ON THE

TO MAKE A COMPLETE

SECTION KEYNOTES SECTION GENERAL NOTES

SEC1 RAFTERS PER PLAN SEE STRUCTURAL

SEC2 2X STUDS @ 16" O.C. - SEE STRUCTURAL SEC3 CEILING INSULATION R VALUE PER TITLE 24 ENERGY CALCULATIONS

SEC4 WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS

SEC5 CONC. SLAB ON GRADE SEE STRUCTURAL SEC6 MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS

3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF 6. FLASHING AND SHEET METAL RAFTERS TO ACCOMMODATE RECESSED LIGHTS ALL FLASHING AND COUNTER FLASHING IS TO BE EXHAUST FANS OR OTHER MISCELLANEOUS IRON AND STEEL WORK INCLUDING ELECTRICAL/MECHANICAL FIXTURES.

4. WOOD SOFFIT/CEILING, SIDING & TRIM FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED 5. INSULATION

THERMAL INSULATION IS TO BE FOIL BACKED BATT ENCLOSED SPACES UNDER STAIRS SHALL COMPLY INSULATION WITH AN R VALUE NOT LESS SPECIFIED WITH SECTION R302.7.

GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.

7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.

8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, & STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERNCED ON PLANS 1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION

2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2019 CRC SECTION R302.11: A. SECTION R302.11-1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:

EXCEEDING 10FT

B. HORIZONTALLY AT INTERVALS NOT

FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION A. VERTICALLY AT CEILING AND FLOOR

COVE CEILINGS

MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136

11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL 9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND CONSIST OF FOLLOWING MATERIALS: HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND 1.TWO-INCH NOMINAL NUMBER 10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND BROKEN LAP JOINTS

3.THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4.THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5.ONE-HALF-INCH GYPSUM BOARD

6.ONE-FOURTH-INCH CEMENT-BASED MILLBOARD 7.BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8.CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION

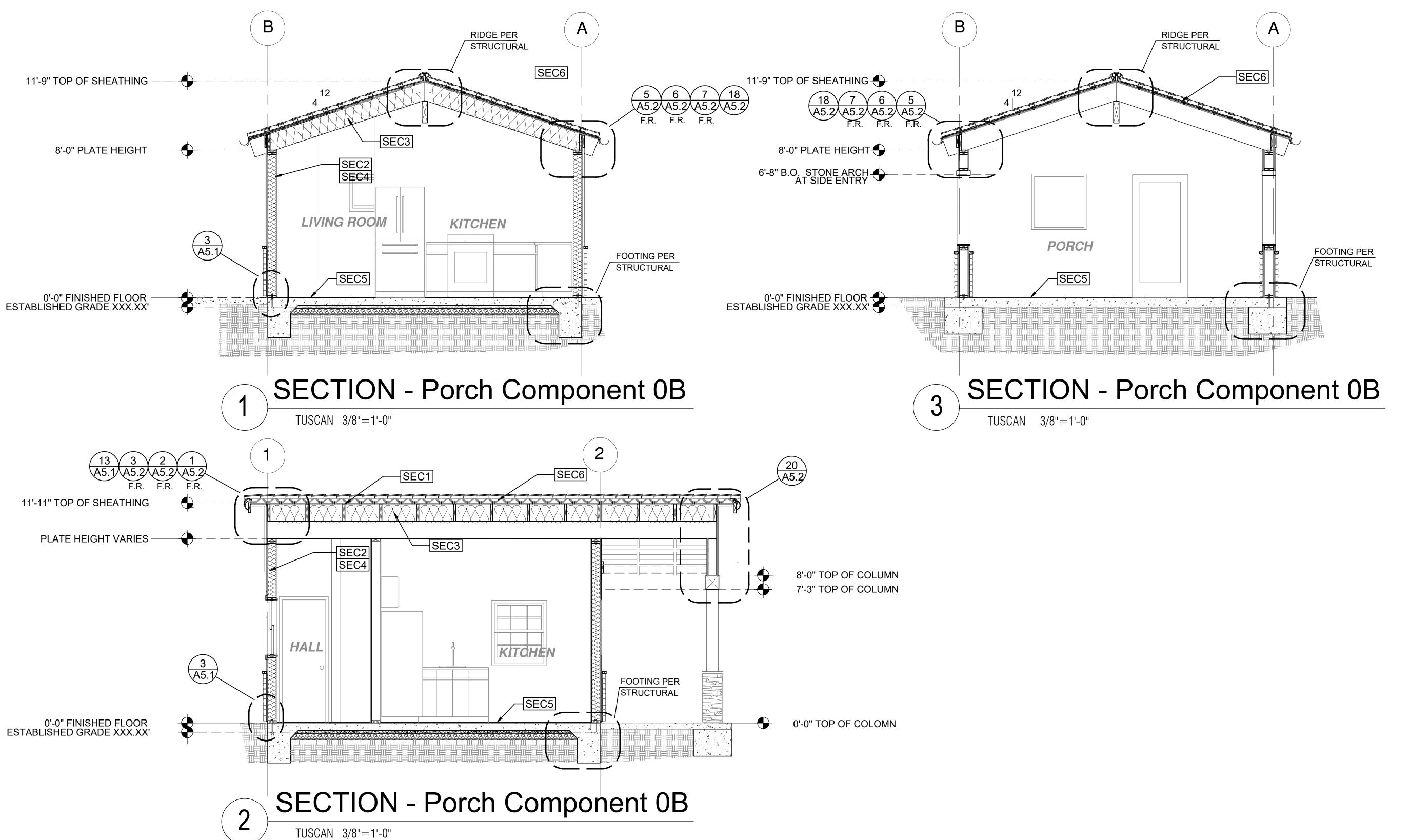
LEGEND

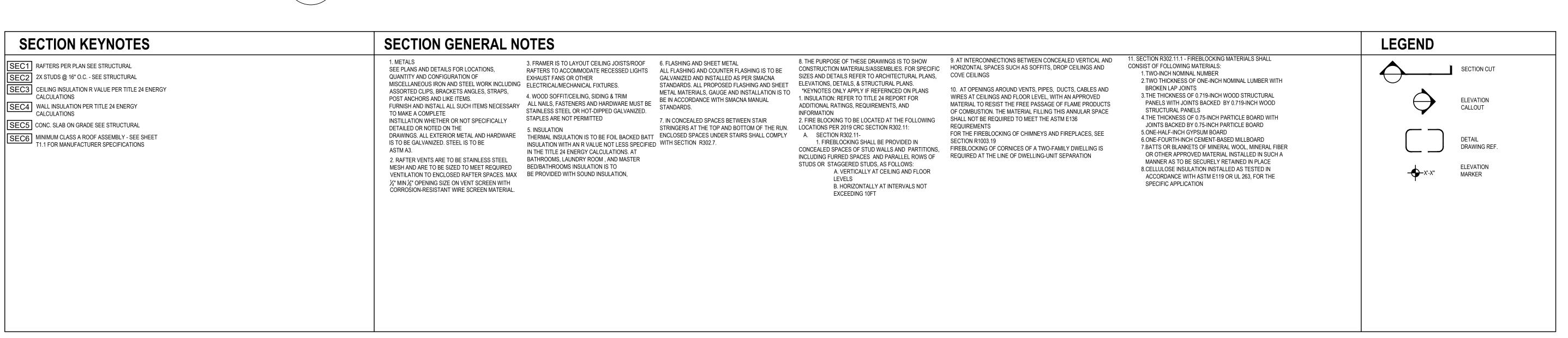
REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE

WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED

SECTION CUT 2.TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH **ELEVATION** DRAWING REF.

IS TO BE GALVANIZED. STEEL IS TO BE IN THE TITLE 24 ENERGY CALCULATIONS. AT 2. RAFTER VENTS ARE TO BE STAINLESS STEEL BATHROOMS, LAUNDRY ROOM, AND MASTER MESH AND ARE TO BE SIZED TO MEET REQUIRED BED/BATHROOMS INSULATION IS TO VENTILATION TO ENCLOSED RAFTER SPACES. MAX BE PROVIDED WITH SOUND INSULATION, 1/4" MIN 1/6" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL





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description
Building
Sections
Tuscan
Component

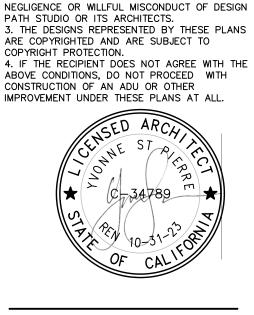
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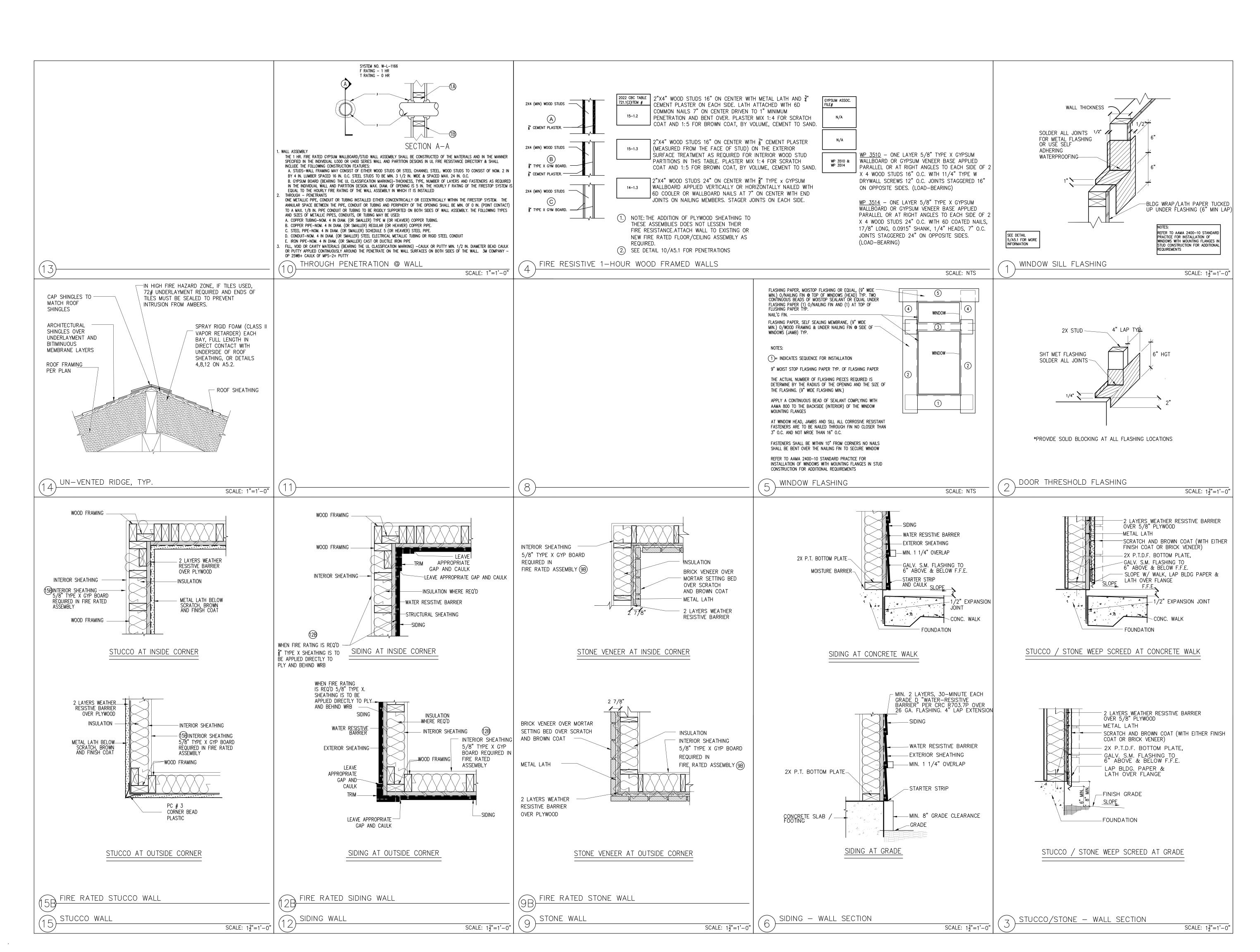
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description

Architectural Wall Finish Details

project no. 2024_Moreno ADU



SCALE: 1"=1'-0"

SCALE: 1"=1'-0"

IMPERMEABLE ONL

\INSULATION @ UNVENTED ROOF ASSEMBLY

SCALE: 1"=1'-0"

ASSEMBLY-OVER/UNDER

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SCALE: 1"=1'-0"

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