






	Ranch Base		Ranch Base Roof
	Ranch Porch		Ranch Porch Roof
	Tuscan Base		Tuscan Base Roof
	Tuscan Porch		Tuscan Porch Roof

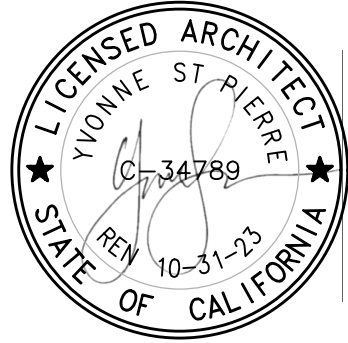
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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Exterior  
Style  
Options

date

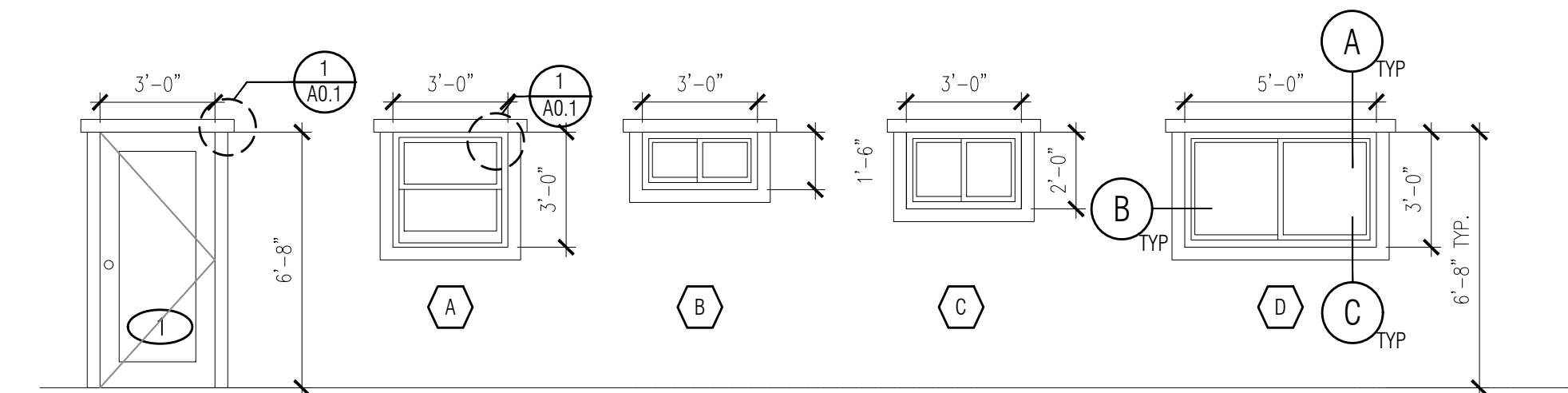
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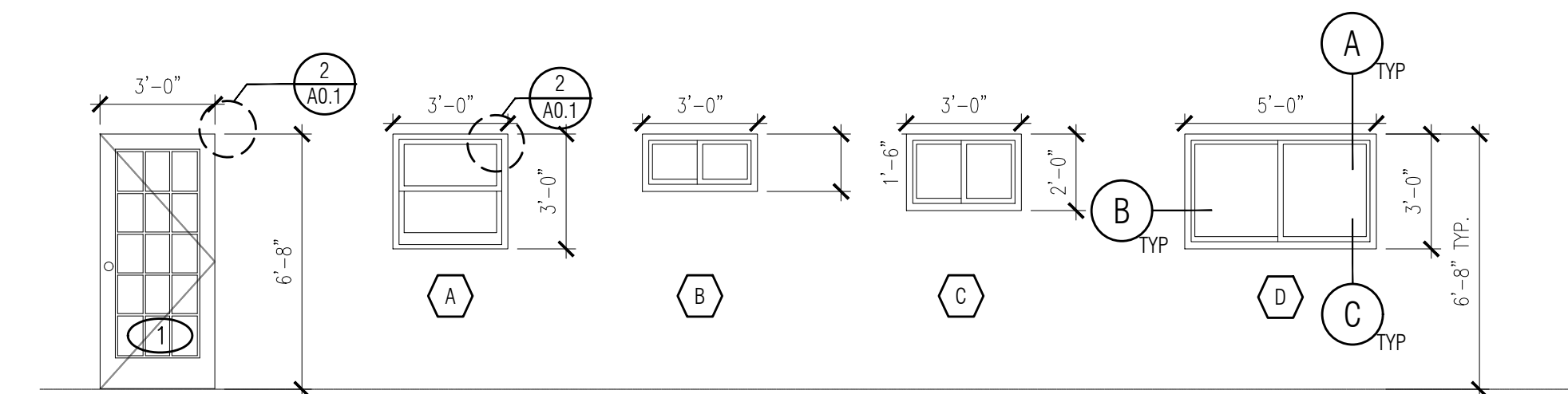
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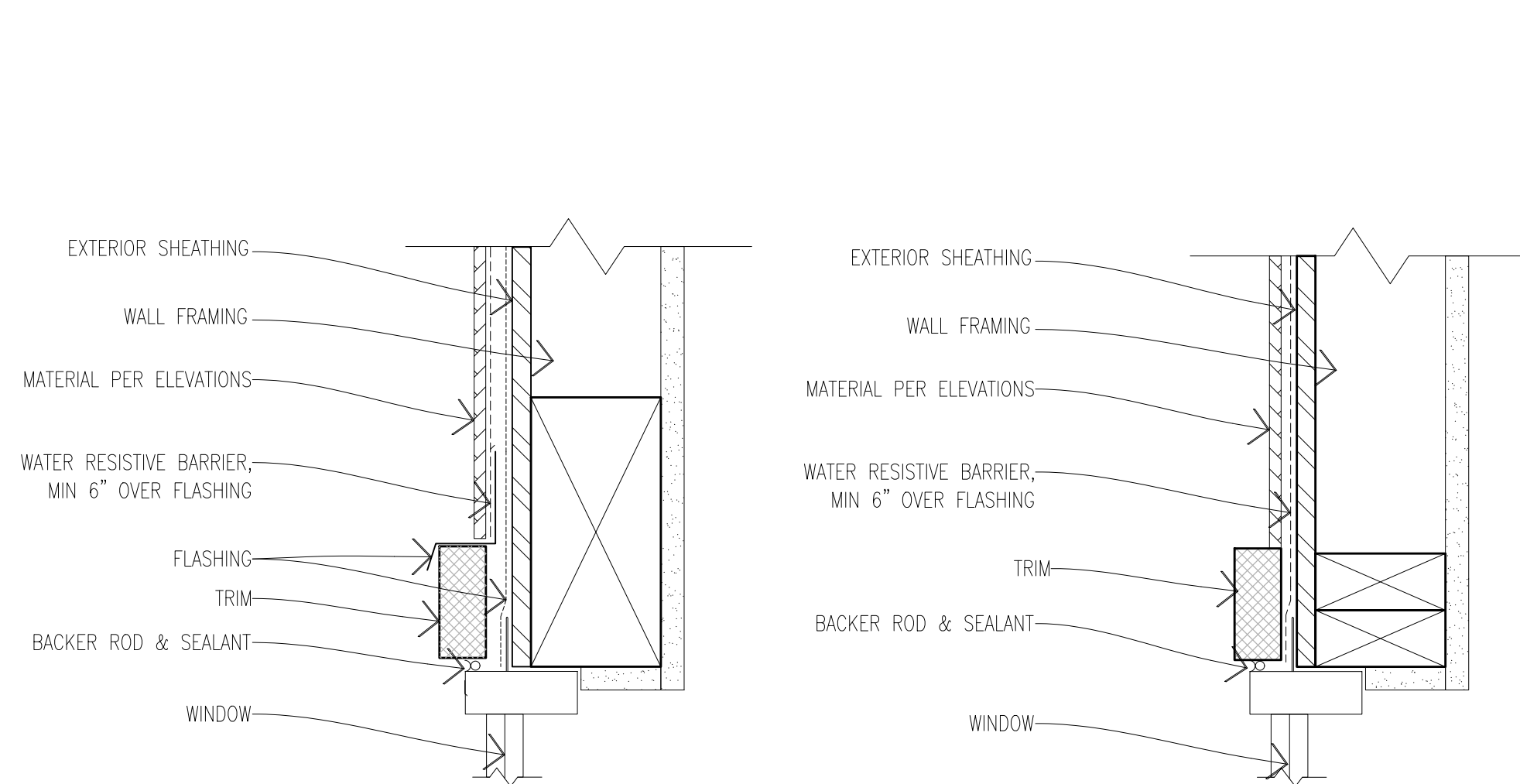


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EXTERIOR RANCH ELEVATION 1/4"=1'-0"



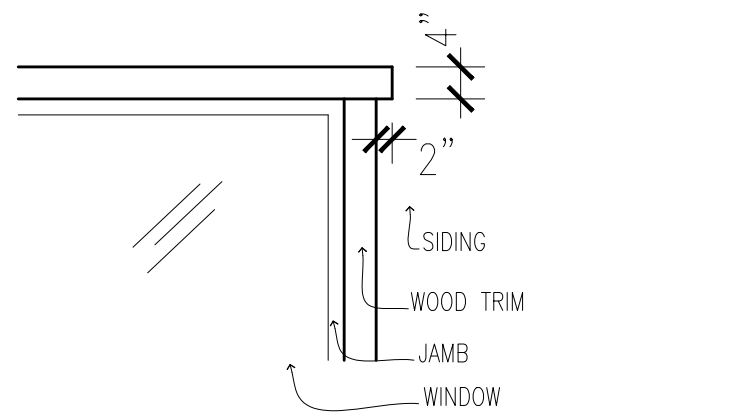
EXTERIOR TUSCAN ELEVATION 1/4"=1'-0"



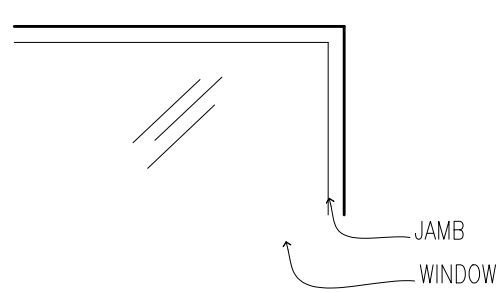
A HEAD  
SECTION VIEW

**B** JAMB  
PLAN VIEW

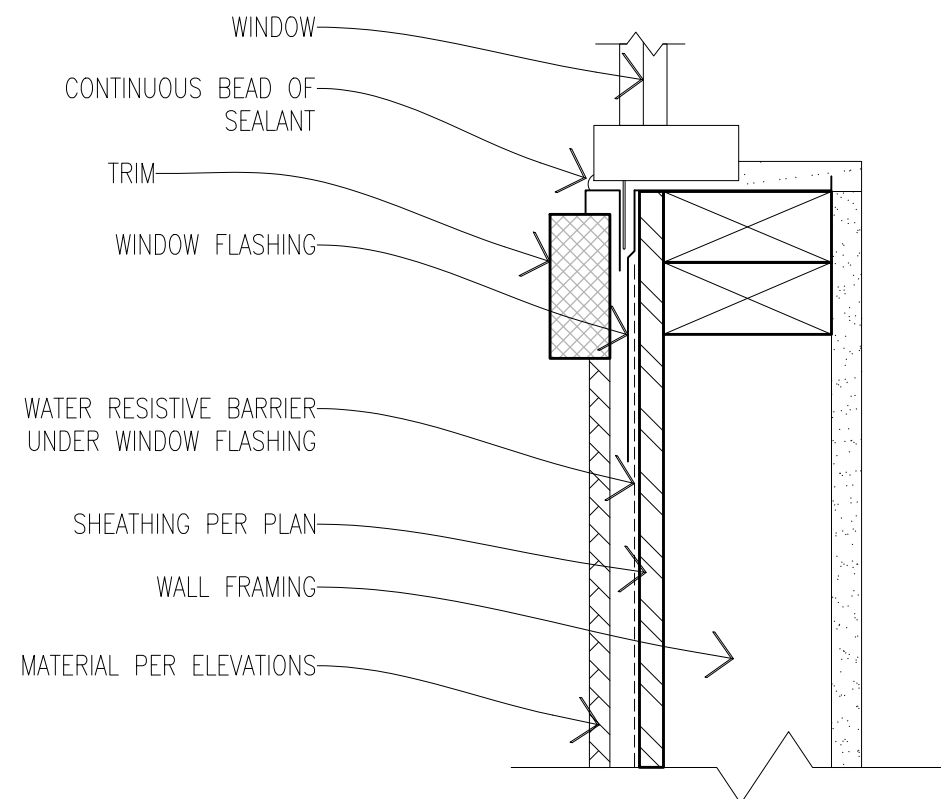
C SILL  
SECTION VIEW



1 ELEVATION VIEW  
RANCH TRIM DETAIL SCALE: 1/2" = 1'-0"



2 ELEVATION VIEW  
TUSCAN TRIM DETAIL SCALE: 1/2" = 1'-0"



## WINDOW DETAILS

SCALE: 3"=1'-0"

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project

City of Moreno  
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revisions



description

## Door & Window Schedules

date

project no. 2024\_Moreno ADU

drawn by

sheet no

# A0.1



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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Floor Plan/  
Roof Plan  
Ranch  
Base

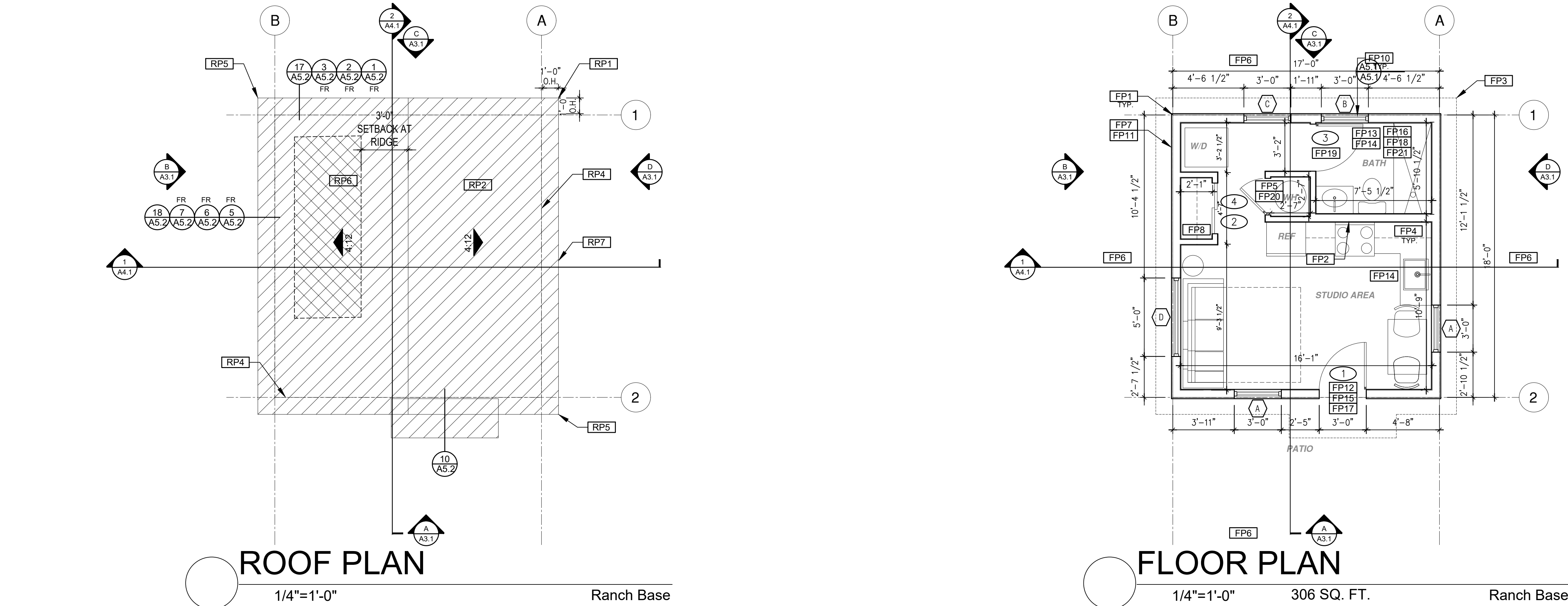
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



project no. 2024\_Moreno ADU

drawn by

sheet no.

A1.1



ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND	
<div><div>RP1</div>LINE OF ROOF OVERHANG</div> <div><div>RP2</div>CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</div> <div><div>RP3</div>SUPPORT POST BELOW</div> <div><div>RP4</div>LINE OF WALLS BELOW</div> <div><div>RP5</div>ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS</div> <div><div>RP6</div>DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</div> <div><div>RP7</div>RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN 1/8" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET FOR NON VENTED EAVES SEE INSULATIONS DETAILS 4, 8, AND 12 ON SHEET A5.2.</div>	<div><div>FP1</div>STUD WALL SIZED PER STRUCTURAL</div> <div><div>FP2</div>2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</div> <div><div>FP3</div>LINE OF OVERHANG ABOVE</div> <div><div>FP4</div>36" HIGH COUNTER</div> <div><div>FP5</div>WATER HEATER</div> <div><div>FP6</div>SLOPE SURFACE AWAY FROM BUILDING</div> <div><div>FP7</div>DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</div> <div><div>FP8</div>CLOSET SHELF AND POLE</div> <div><div>FP9</div>EMERGENCY EGRESS WINDOW</div> <div><div>FP10</div>WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOOK AREA, AND CONSTRUCTED OF MULTPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</div> <div><div>FP11</div>VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</div>	<div><div>FP12</div>MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP</div> <div><div>FP13</div>SURROUND AROUND THE SHOWER MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOL'S, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.</div> <div><div>FP14</div>PER SECTION 301.1.1 CAL GENE AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER-CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</div> <div><div>FP15</div>LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OUTWARD.</div> <div><div>FP16</div>WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2</div> <div><div>FP17</div>DOOR BELL BUTTON TO BE NO MORE THEN 48" ABOVE EXTERIOR FLOOR OR LANDING</div> <div><div>FP18</div>WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #31 ON SHEET G0.2 FOR FURTHER INFORMATION</div> <div><div>FP19</div>DOOR TO HAVE A NET CLEAR OPENING OF 32"</div> <div><div>FP20</div>DESIGNATED 2'-6" x 2'-6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT PUMP WATER HEATER PER CEC 2022 SECTION 150.0(N)</div> <div><div>FP21</div>FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH</div>	<div>SOLAR READY ROOF AREA: MIN DIMENSION &gt; 5FT. MIN. SF. &gt; 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b)</div> <div>THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED BY LOCAL JURISDICTION</div> <div>SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 250SQFT.</div> <div>FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.</div> <div>MINIMUM PV SIZE BASED ON EXAMPLE ENERGY CALCULATIONS _____ 1.40 _____ kWdc TO BE UPDATED WITH SITE SPECIFIC ENERGY CALCULATIONS.</div> <div>VENTILATION: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 306 SF. VENTILATION AREA REQUIRED: 306 SF./150SF = 2.04 SF. CONVERT TO SQ. IN: 2.04 SF. x 144 = 294 SQ. IN. MINIMUM VENTILATION AREA REQUIRED: 294 SQ. IN.</div>	<div>SECTION CUT</div> <div>ELEVATION CALLOUT</div> <div>DETAIL DRAWING REF.</div> <div>WALL BELOW OR ROOF ABOVE</div> <div>SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</div> <div>ROOFING</div> <div>KEYNOTE</div> <div>DOOR SYMBOL</div> <div>WINDOW SYMBOL</div> <div>CEILING HEIGHTS</div> <div>VAULTED CEILING</div> <div>ROOF SLOPE</div>

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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Floor Plan/  
Roof Plan  
Ranch  
Component

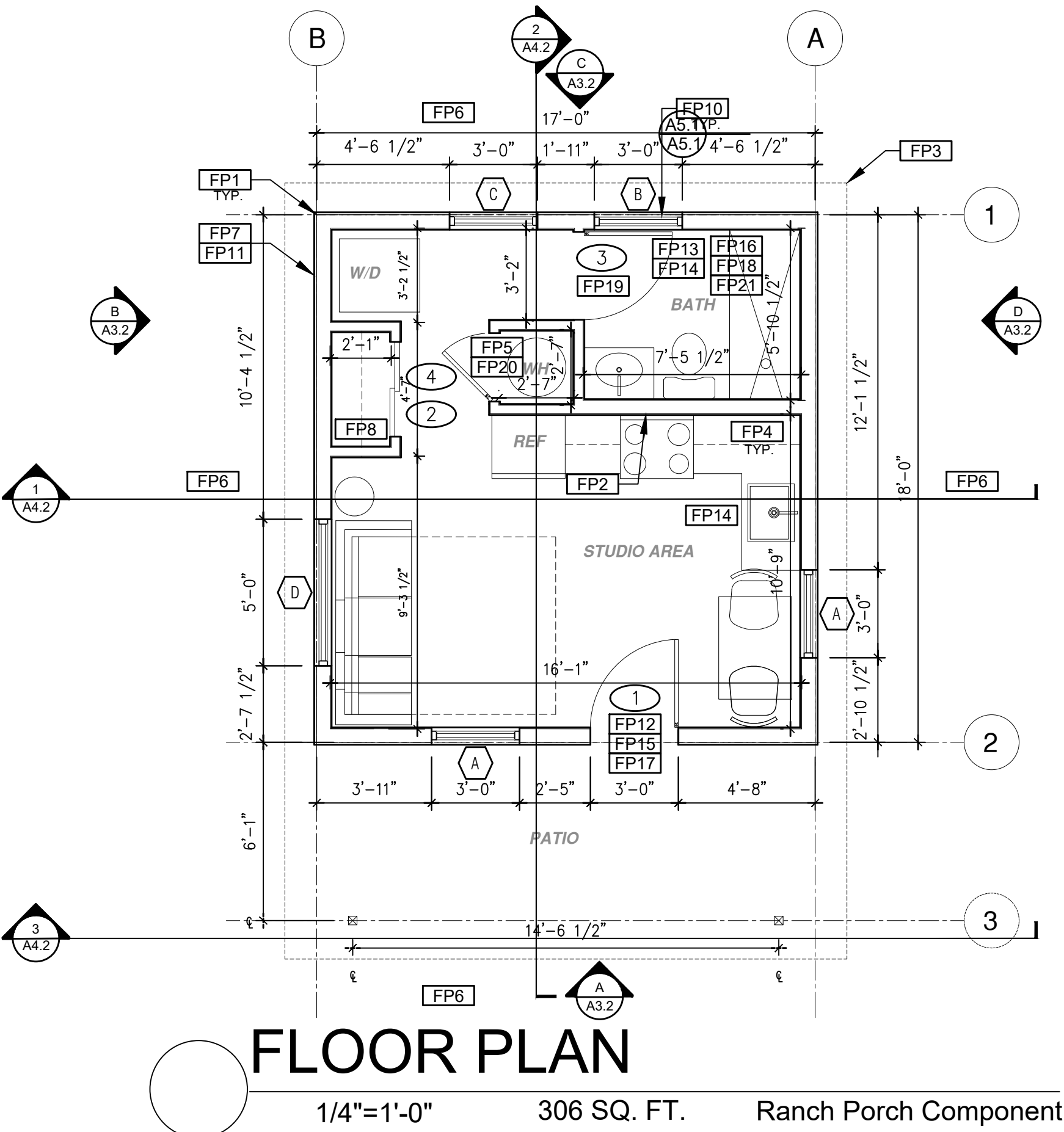
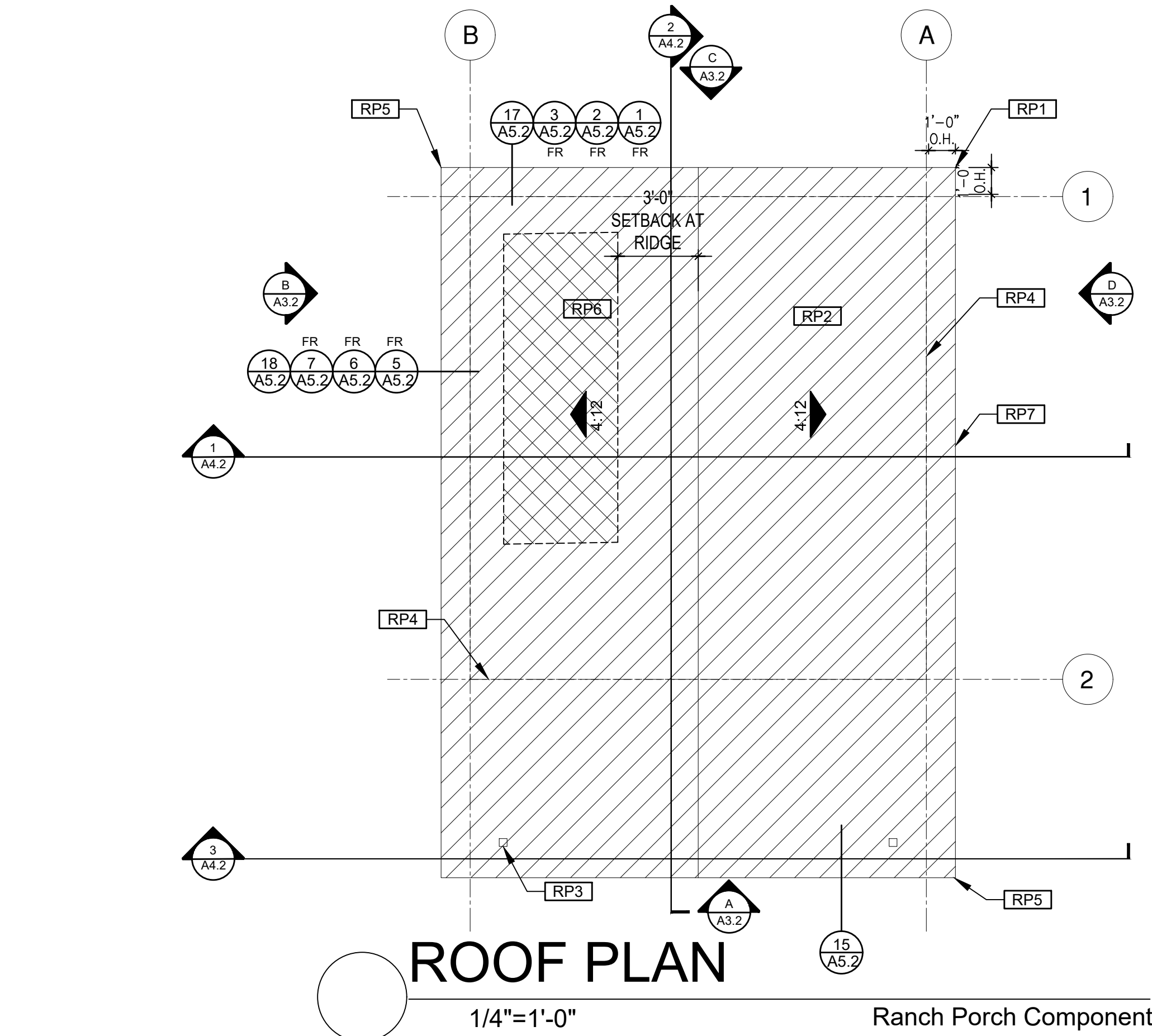
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project no. 2024\_Moreno ADU

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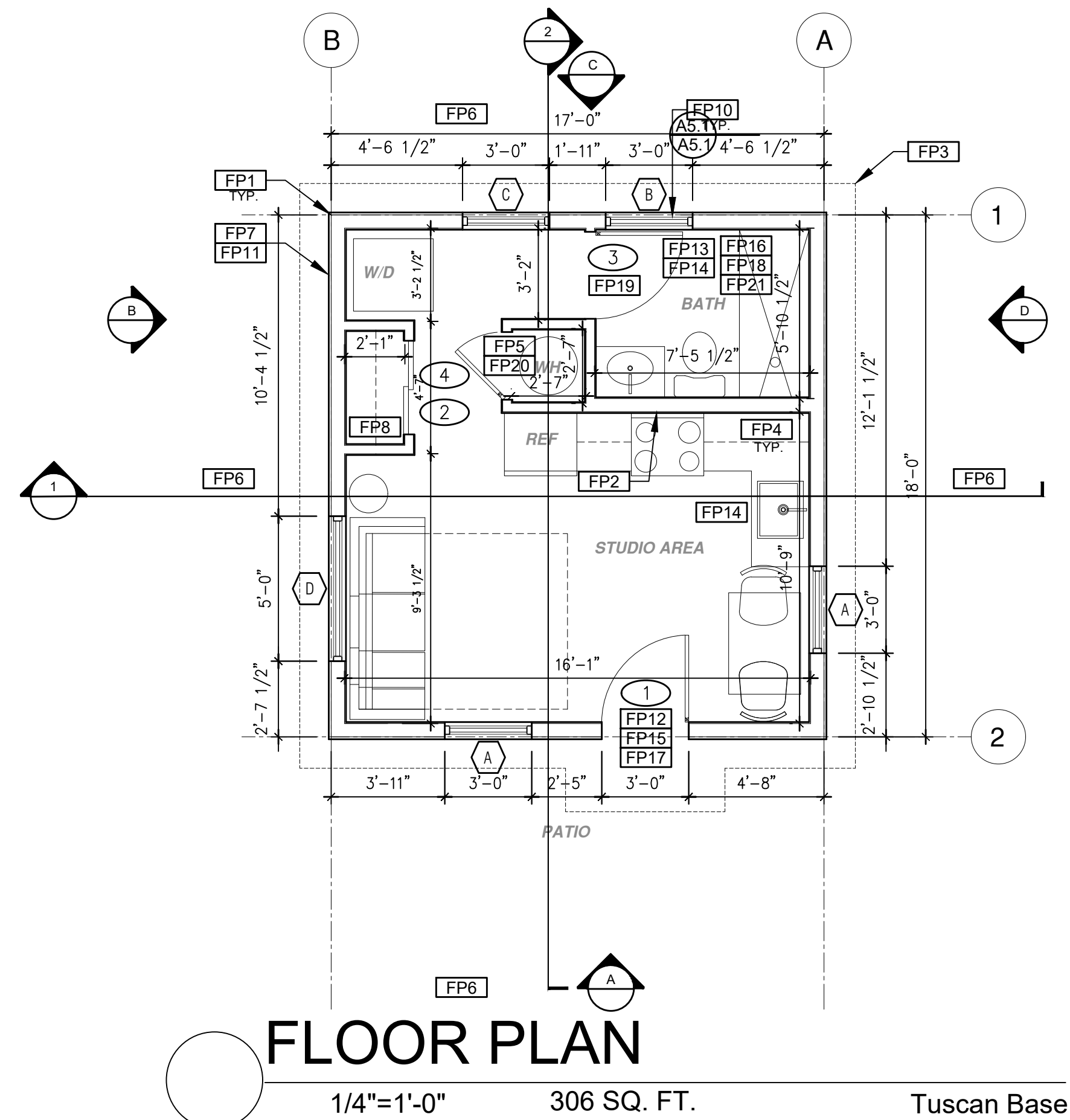
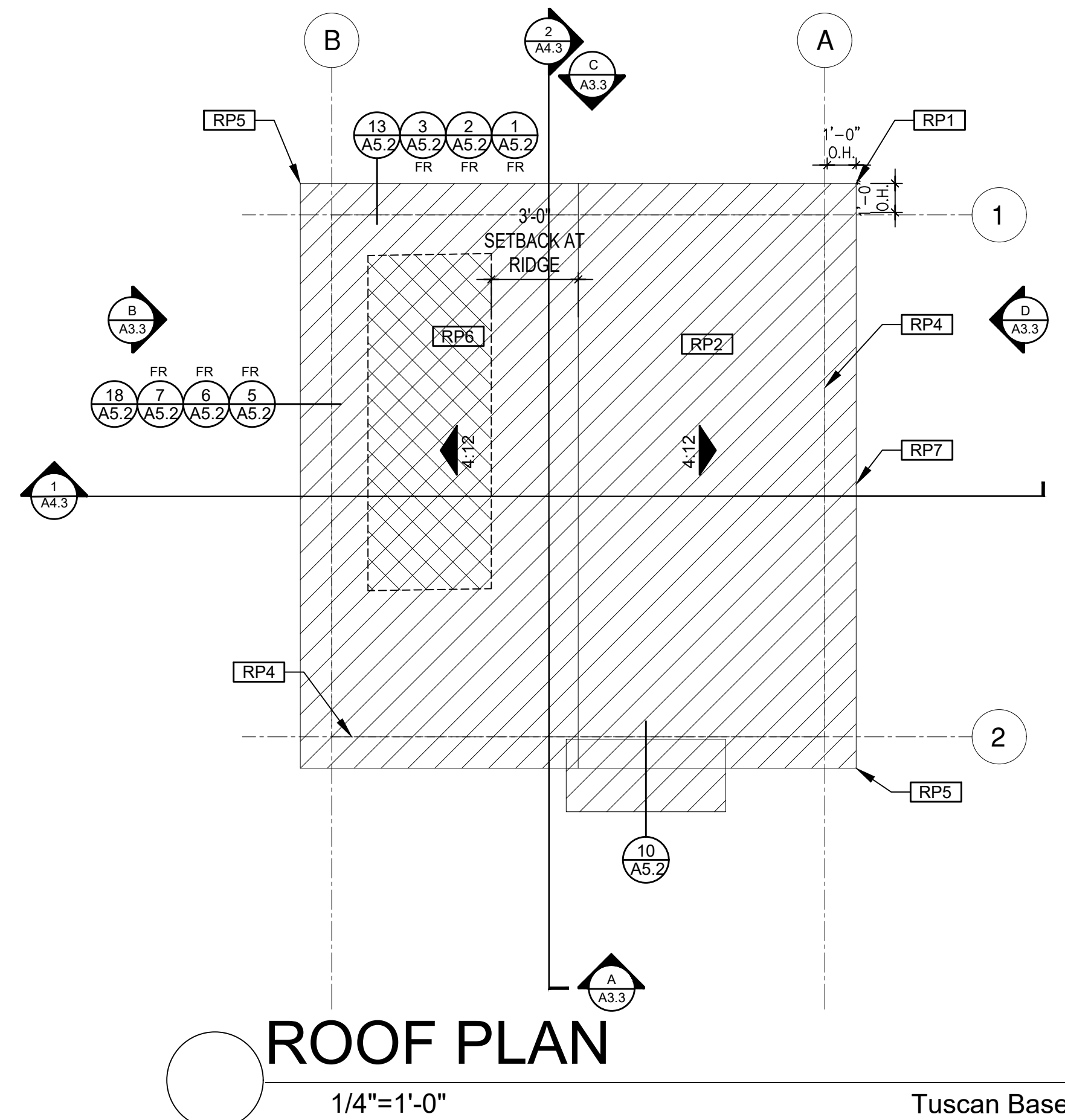
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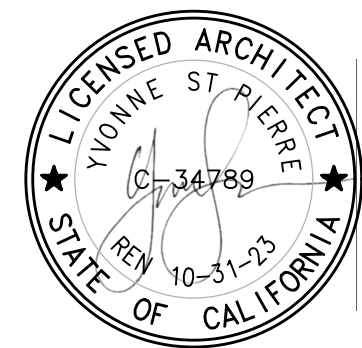
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OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 306 _SF. VENTILATION AREA REQUIRED: 306 SF /150SF = 2.04 _SF. CONVERT TO SQ. IN: 2.04 SF x 144 = 294 _SQ. IN. MINIMUM VENTILATION AREA REQUIRED: 294 _SQ. IN.</div>	<div><div></div>SECTION CUT</div> <div><div></div>ELEVATION CALLOUT</div> <div><div></div>DETAIL DRAWING REF.</div> <div><div></div>WALL BELOW OR ROOF ABOVE</div> <div><div></div>SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</div> <div><div></div>ROOFING</div> <div><div></div>KEYNOTE</div> <div><div></div>DOOR SYMBOL</div> <div><div></div>WINDOW SYMBOL</div> <div><div></div>CEILING HEIGHTS</div> <div><div></div>VAULTED CEILING</div> <div><div></div>ROOF SLOPE</div>





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1. THE USE OF THIS INFORMATION IS LIMITED TO THE PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF LOS ANGELES. IT IS NOT TO BE A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF LOS ANGELES. THE RECIPIENT OF THESE BUILDING CODES DO NOT CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL APPLICABLE BUILDING CODES. THE RECIPIENT OF THESE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS TO BE TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR ANY PERMITS REQUIRED FOR TRANSLATION ERRORS. DO NOT USE THESE DOCUMENTS FOR ANY OTHER PROJECT. THE PERMIT HAS EXPIRED OR IS REVOKED AT ANY TIME.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE RECIPIENT OF THESE DOCUMENTS SHALL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO, NO MATTER HOW CAUSED, FOR ANY DAMAGE, LOSS OR IMPLIED, SHALL ATTAKE TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY SUCH DAMAGE, LOSS OR IMPLIED DAMAGE TO ANY DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULLY SUBJECT TO THE RECIPIENT'S ASSUMPTION OF RISK. THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD HARMLESS FROM ALL AND ALL CLAIMS, SUITS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR ANY PROJECT OTHER THAN THAT FOR WHICH THESE DOCUMENTS WERE PREPARED OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT, THIS SHALL BE THE RECIPIENT'S RESPONSIBILITY. NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.
3. THESE DOCUMENTS ARE THE PROPERTY OF THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.
4. THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF THE PROJECT OR ANY IMPROVEMENT UNDER THESE PLANS AT ALL.



project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Floor Plan/  
Roof Plan  
Tuscan  
Base













date

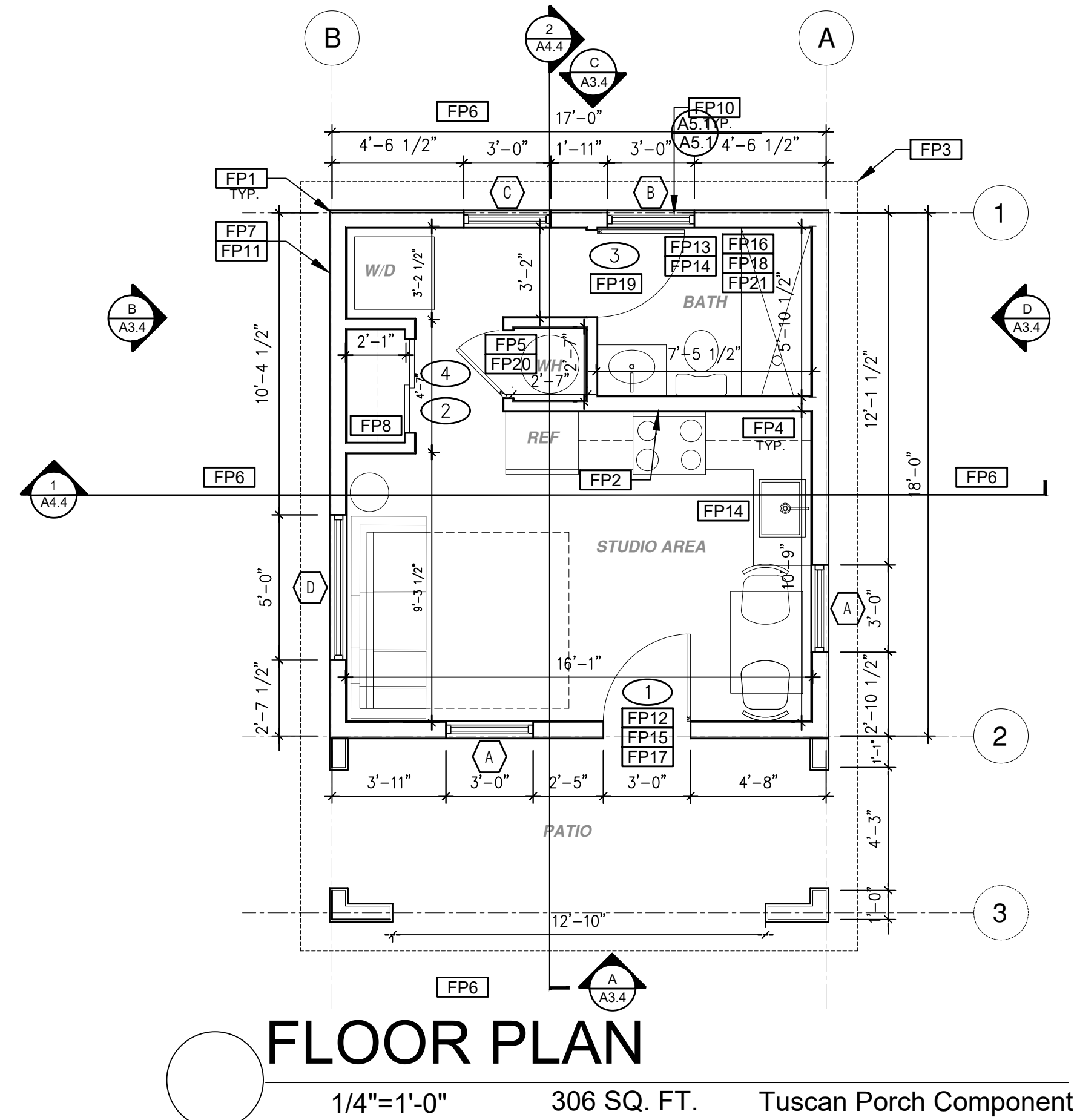
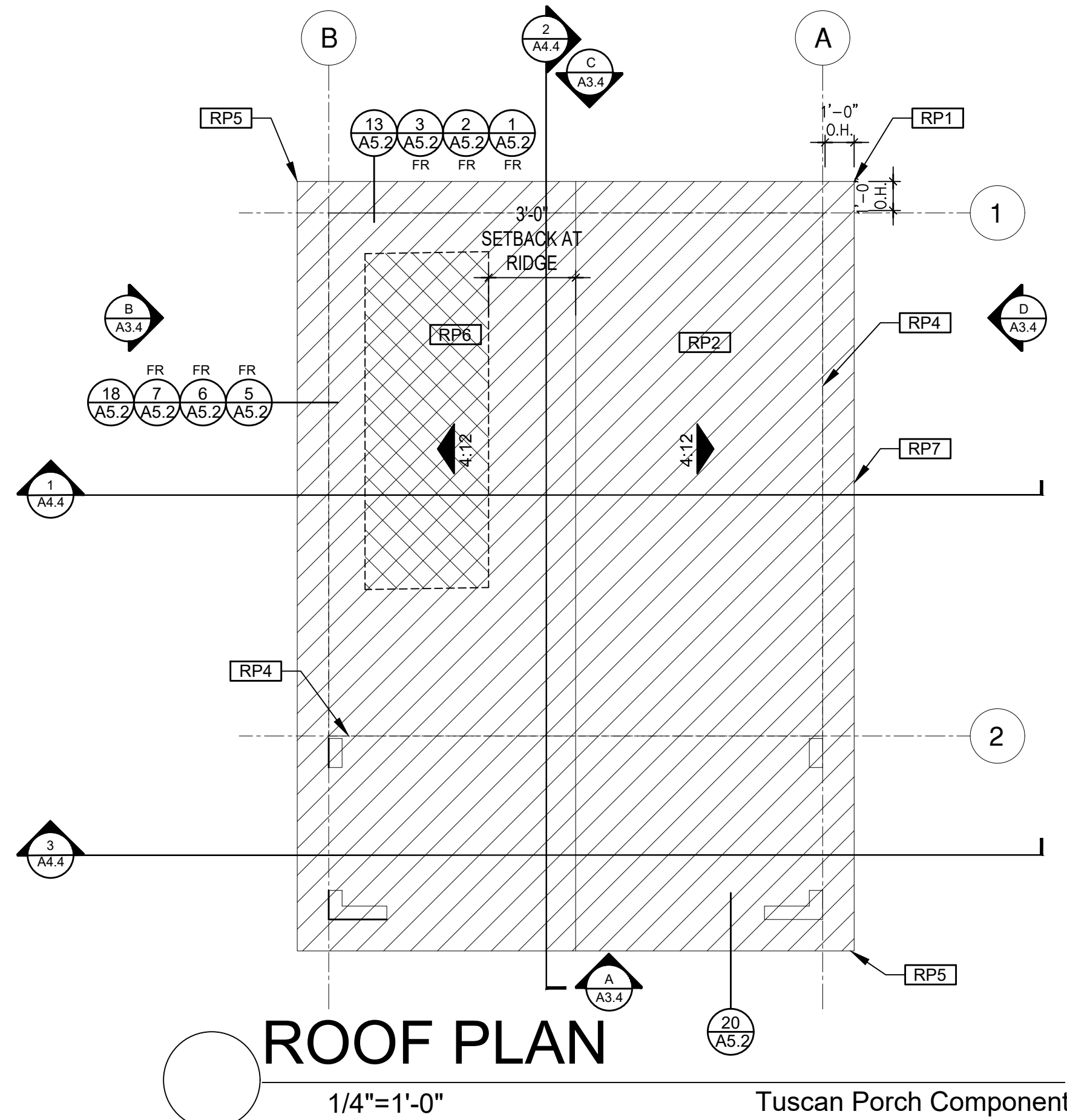
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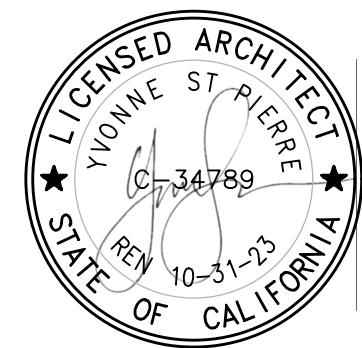
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ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND	
<div><div>[RP1]</div>LINE OF ROOF OVERHANG</div> <div><div>[RP2]</div>CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0 2</div> <div><div>[RP3]</div>SUPPORT POST BELOW</div> <div><div>[RP4]</div>LINE OF WALLS BELOW</div> <div><div>[RP5]</div>ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS</div> <div><div>[RP6]</div>DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</div> <div><div>[RP7]</div>RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN 1/2" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET FOR NON VENTED EAVES SEE INSULATIONS DETAILS 4, 8, AND 12 ON SHEET AS 2.</div>	<div><div>[FP1]</div>STUD WALL SIZED PER STRUCTURAL</div> <div><div>[FP2]</div>2X6 STUD WALL OR FLOORING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</div> <div><div>[FP3]</div>LINE OF OVERHANG ABOVE</div> <div><div>[FP4]</div>36" HIGH COUNTER</div> <div><div>[FP5]</div>WATER HEATER</div> <div><div>[FP6]</div>SLOPE SURFACE AWAY FROM BUILDING</div> <div><div>[FP7]</div>DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</div> <div><div>[FP8]</div>CLOSET SHELF AND POLE</div> <div><div>[FP9]</div>EMERGENCY EGRESS WINDOW</div> <div><div>[FP10]</div>WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPLE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</div> <div><div>[FP11]</div>VENT DRYER THROUGH WALL. 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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Floor Plan/  
Roof Plan  
Tuscan  
Porch



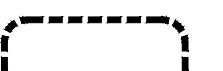


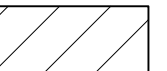
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project no. 2024\_Moreno ADU

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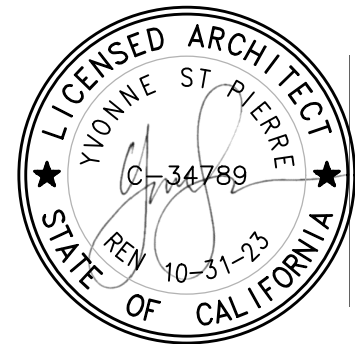
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<div><div>RP1</div>LINE OF ROOF OVERHANG</div>	<div><div>RP2</div>CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</div>	<div><div>FP1</div>STUD WALL SIZED PER STRUCTURAL</div>	<div><div>FP2</div>2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</div>	<div><div>FP12</div>MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. WITH THE DOOR OPEN 90°, THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP</div>	<div><div>FP15</div>LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OUTWARD.</div>	<div>SOLAR READY ROOF AREA: MIN DIMENSION &gt; 5 FT. MIN. SF. &gt; 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b)</div>	<div>SECTION CUT</div>	<div><div>X</div>KEYNOTE</div>
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		<div><div>FP9</div>EMERGENCY EGRESS WINDOW</div>	<div><div>FP10</div>WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</div>	<div><div>FP21</div>FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH</div>		<div>MINIMUM PV SIZE BASED ON EXAMPLE ENERGY CALCULATIONS _____ 1.40 _____ kWdc TO BE UPDATED WITH SITE SPECIFIC ENERGY CALCULATIONS.</div>	<div>SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</div>	<div><div>VARIES</div>VAULTED CEILING</div>
		<div><div>FP11</div>VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</div>				<div>VENTING CALCULATIONS</div>	<div>ROOFING</div>	<div><div>X:12</div>ROOF SLOPE</div>
						<div>ROOF VENTING: 15F. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 306 SF. VENTILATION AREA REQUIRED: 306 SF /150SF = 2.04 SF. CONVERT TO SQ. IN: 2.04 SF. x 144 = 294 SQ. IN. MINIMUM VENTILATION AREA REQUIRED: 294 SQ. IN.</div>		



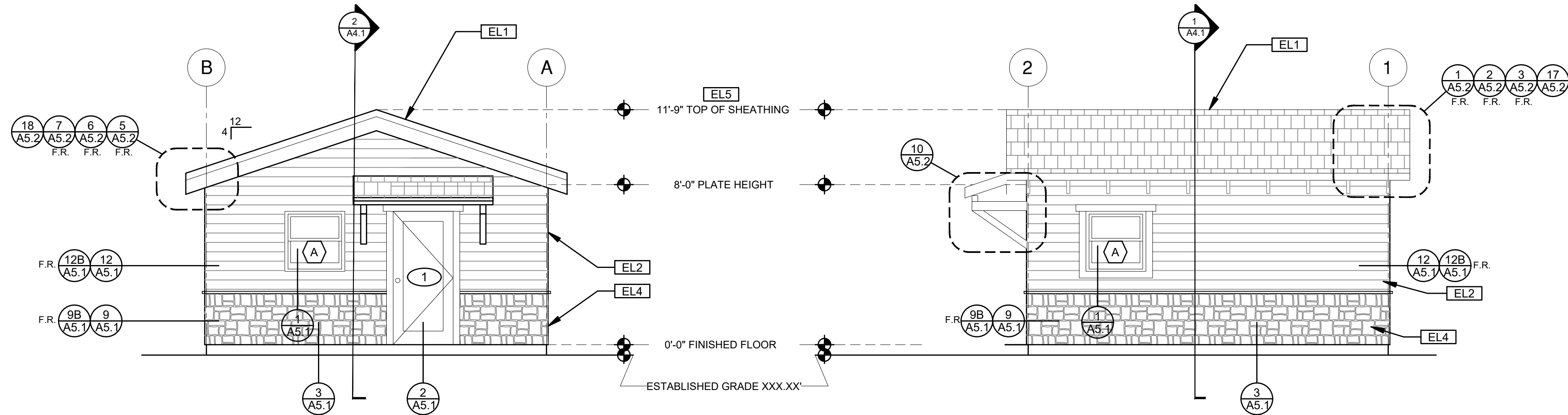




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ELEVATION - A

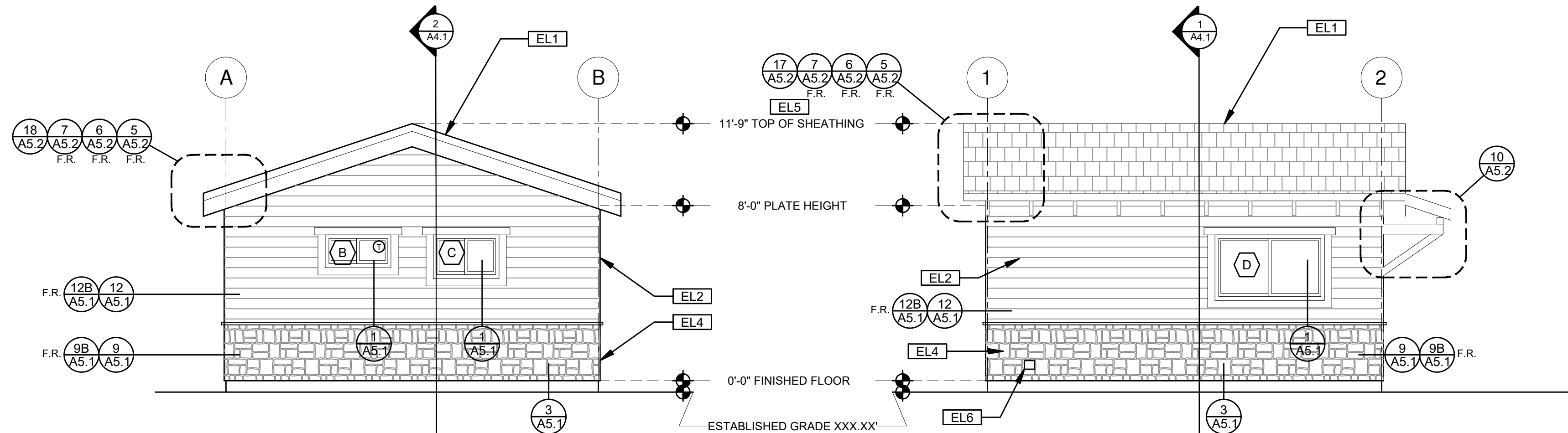
1/4"=1'-0"

Ranch Base

ELEVATION - B

1/4"=1'-0"

Ranch Base



ELEVATION - C

1/4"=1'-0"

Ranch Base

ELEVATION - D

1/4"=1'-0"

Ranch Base

ELEVATION KEYNOTES

EL1	MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
EL2	SIDING
EL3	STUCCO
EL4	STONE VENEER
EL5	HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES
EL6	DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)
EL7	SHINGLES

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LEGEND

	SECTION CUT		KEYNOTE		SPRAY FIN. STUCCO
	ELEVATION CALLOUT		DOOR SYMBOL		SHINGLES
	DETAIL DRAWING REF.		WINDOW SYMBOL		SIDING
	ELEVATION MARKER		TEMPERED GLASS		STONE
					GLAZING
					ROOFING

project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Exterior  
Elevations  
Ranch Base  
Plan 0B

date

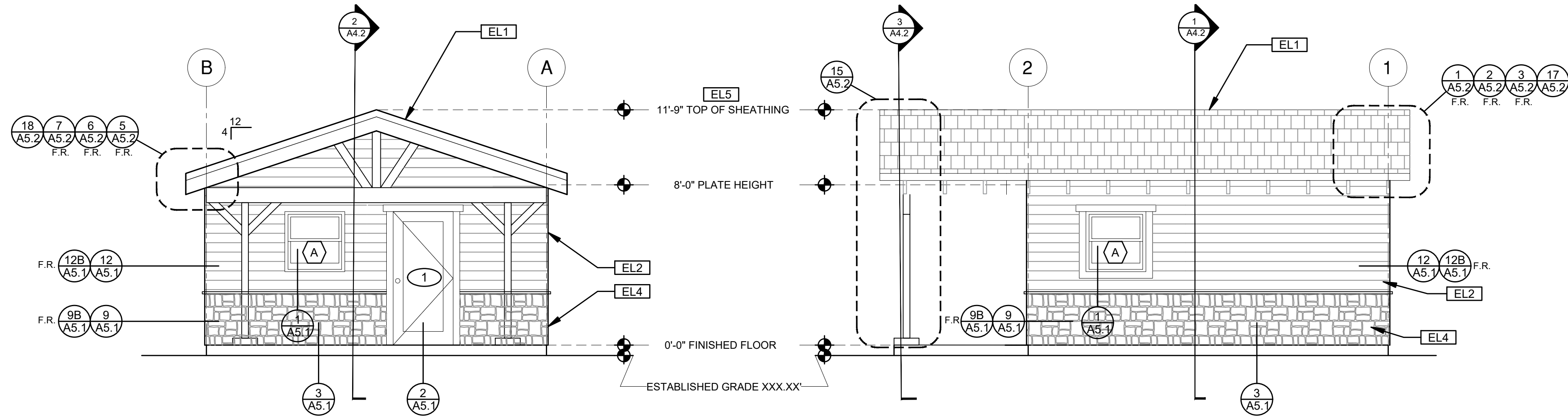
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sheet no.

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ELEVATION - A

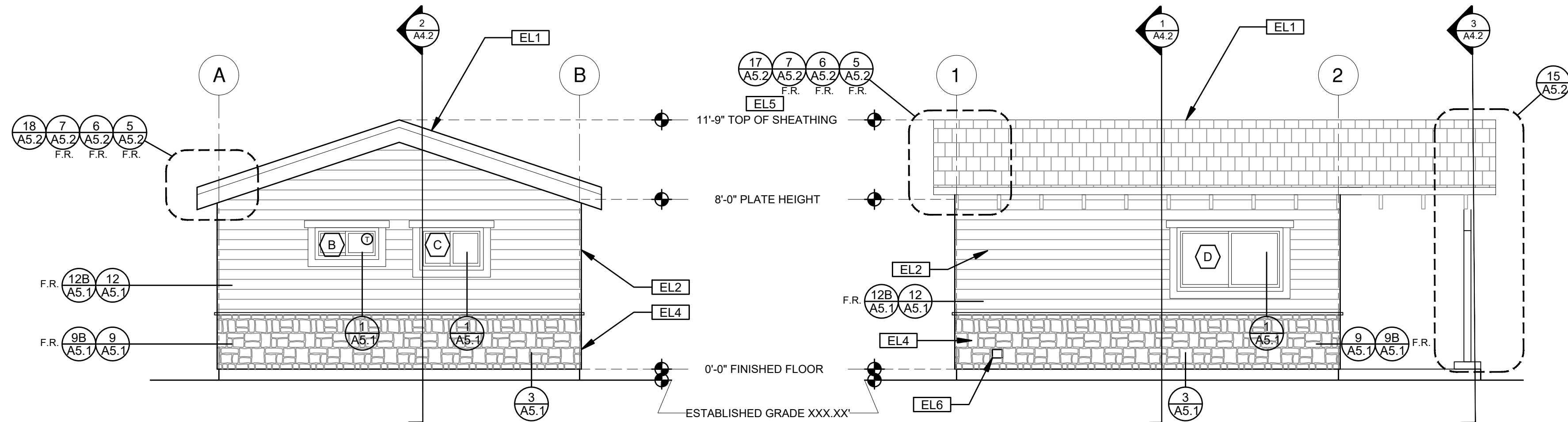
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Ranch Porch Component

ELEVATION - B

1/4"=1'-0"

Ranch Porch Component



ELEVATION - C

1/4"=1'-0"

Ranch Porch Component

ELEVATION - D

1/4"=1'-0"

Ranch Porch Component

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LEGEND

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- ELEVATION CALLOUT
- DETAIL DRAWING REF.
- ELEVATION MARKER
- KEYNOTE
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- WINDOW SYMBOL
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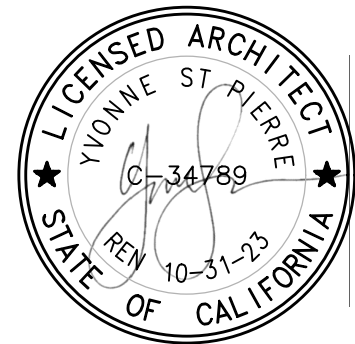
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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Exterior  
Elevations  
Ranch Porch  
Component  
Plan 0B

date

project no. 2024\_Moreno ADU

drawn by

sheet no.

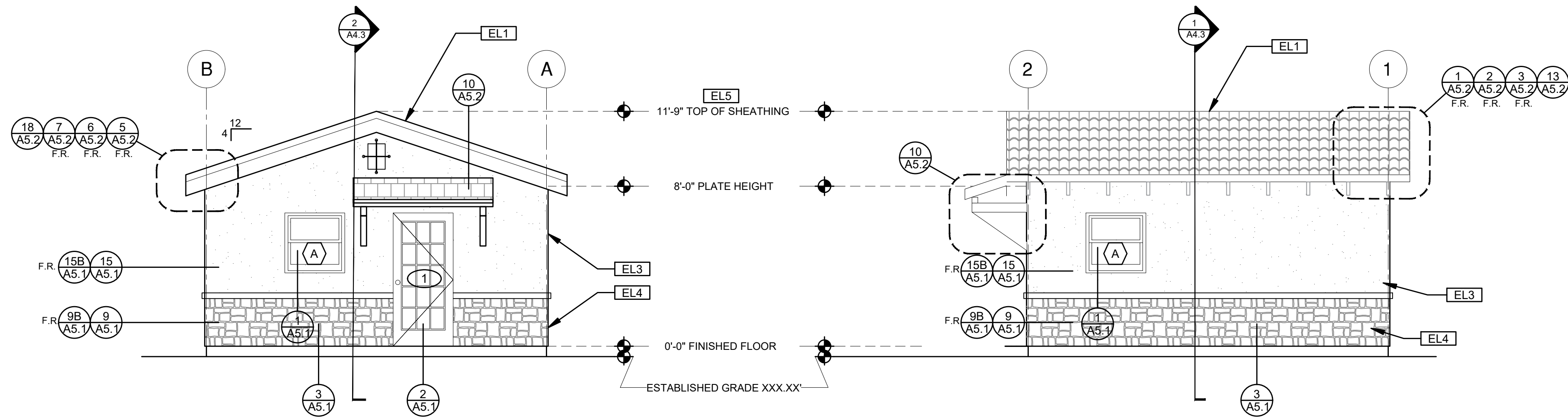
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ELEVATION - A

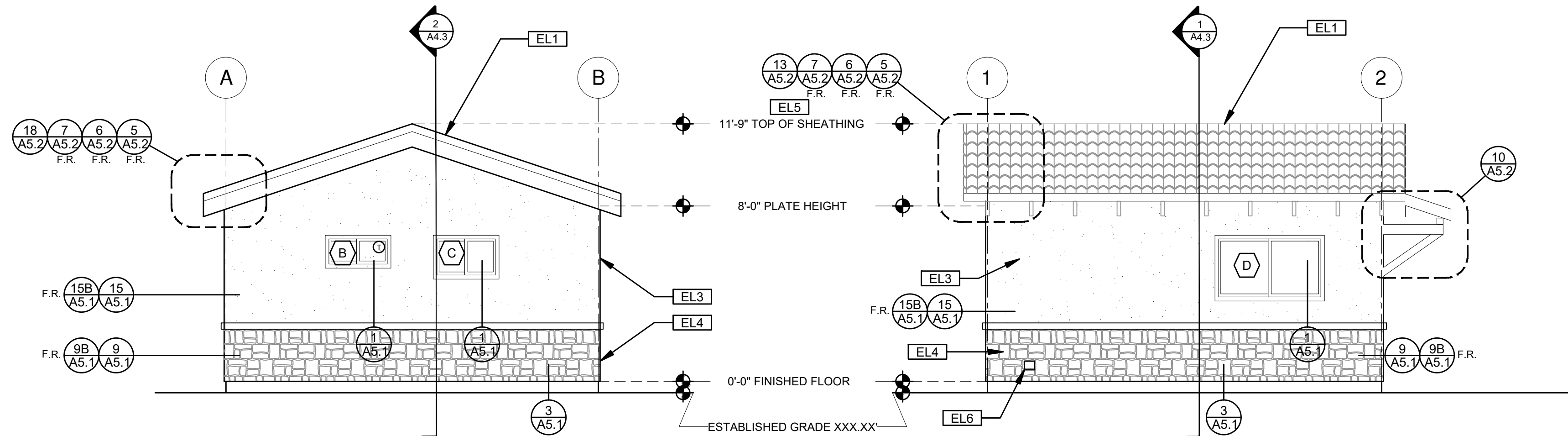
1/4"=1'-0"

Tuscan Base

ELEVATION - B

1/4"=1'-0"

Tuscan Base



ELEVATION - C

1/4"=1'-0"

Tuscan Base

ELEVATION - D

1/4"=1'-0"

Tuscan Base

ELEVATION KEYNOTES

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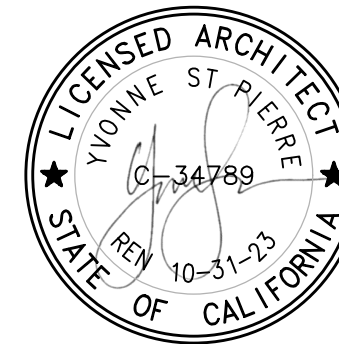
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LEGEND

- SECTION CUT
- ELEVATION CALLOUT
- DETAIL DRAWING REF.
- ELEVATION MARKER
- KEYNOTE
- DOOR SYMBOL
- WINDOW SYMBOL
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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



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Exterior  
Elevations  
Tuscan Base  
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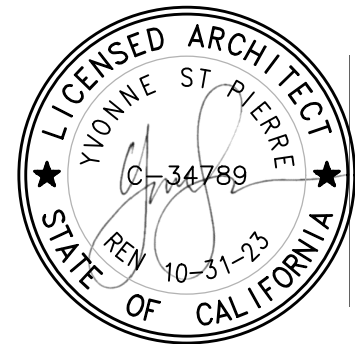
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project

City of Moreno  
Valley Permitted  
ADU Plan Set

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description

Exterior  
Elevations  
Tuscan Porch  
Component  
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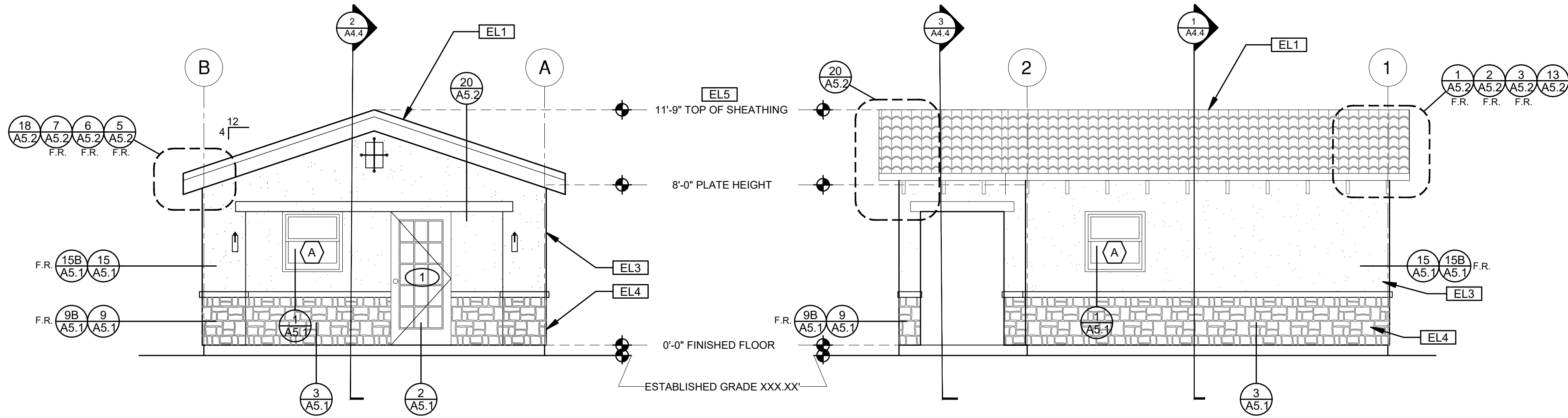
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ELEVATION - A

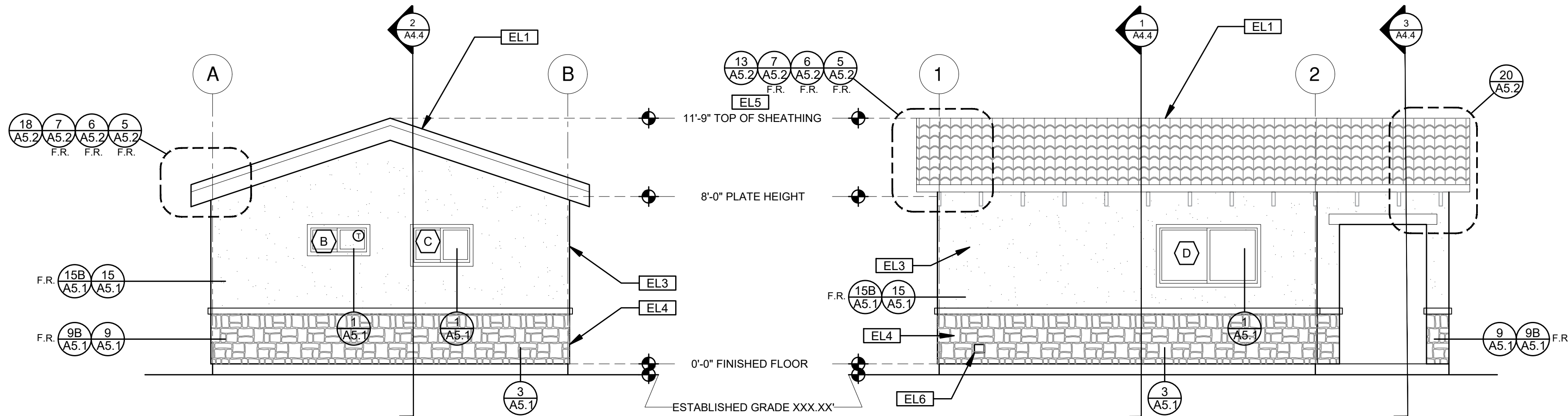
1/4"=1'-0"

Tuscan Porch Component

ELEVATION - B

1/4"=1'-0"

Tuscan Porch Component



ELEVATION - C

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Tuscan Porch Component

ELEVATION - D

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Tuscan Porch Component

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- GLAZING
- ROOFING



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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Building  
Sections  
Ranch  
Base

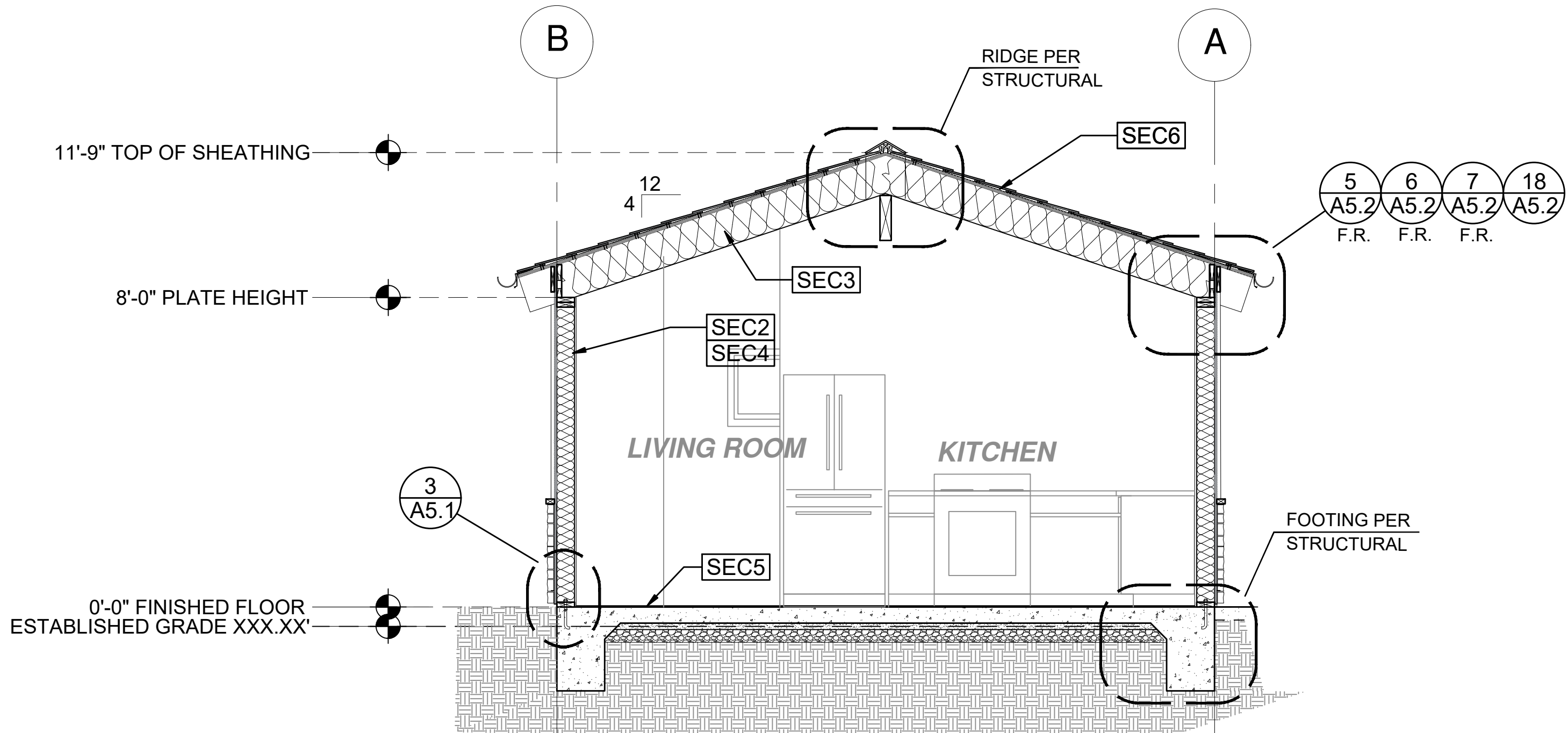
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project no. 2024\_Moreno ADU

drawn by

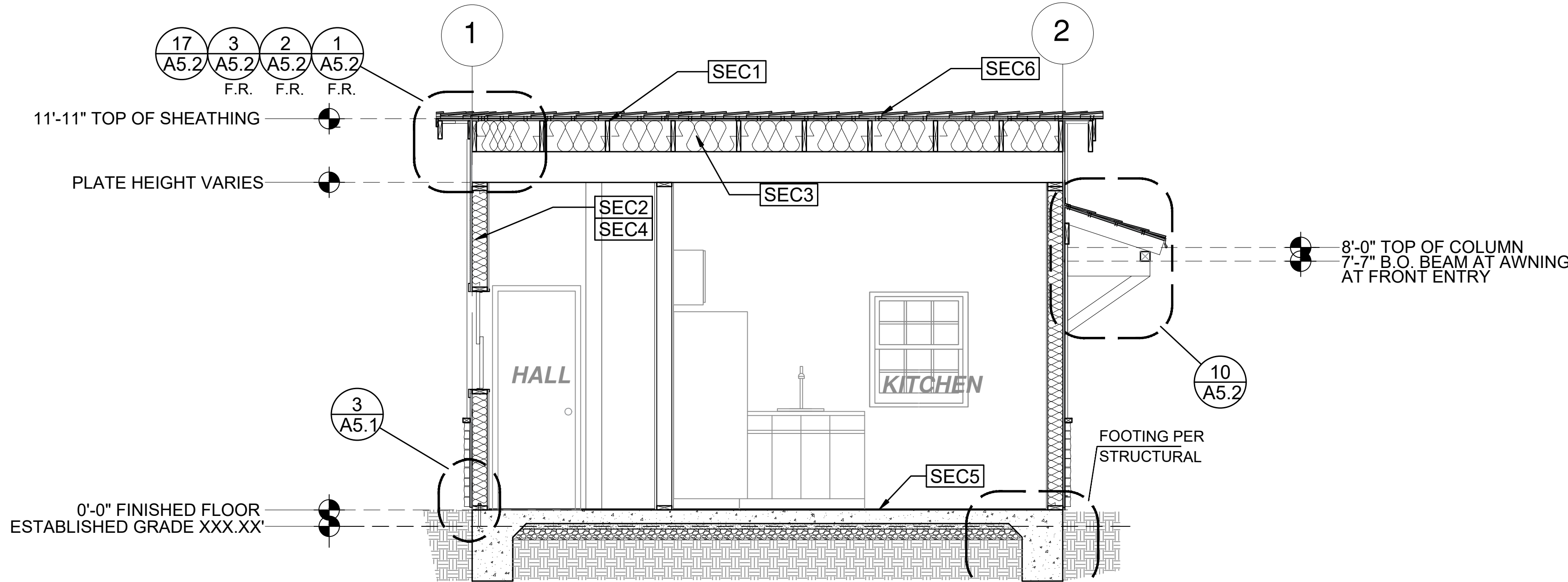
sheet no.

A4.1



## SECTION - 0B

RANCH 3/8"=1'-0"



## SECTION - 0B

RANCH 3/8"=1'-0"

### SECTION KEYNOTES

- SEC1** RAFTERS PER PLAN SEE STRUCTURAL  
**SEC2** 2X STUDS @ 16" O.C. - SEE STRUCTURAL  
**SEC3** CEILING INSULATION R VALUE PER TITLE 24 ENERGY CALCULATIONS  
**SEC4** WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS  
**SEC5** CONC. SLAB ON GRADE SEE STRUCTURAL  
**SEC6** MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS

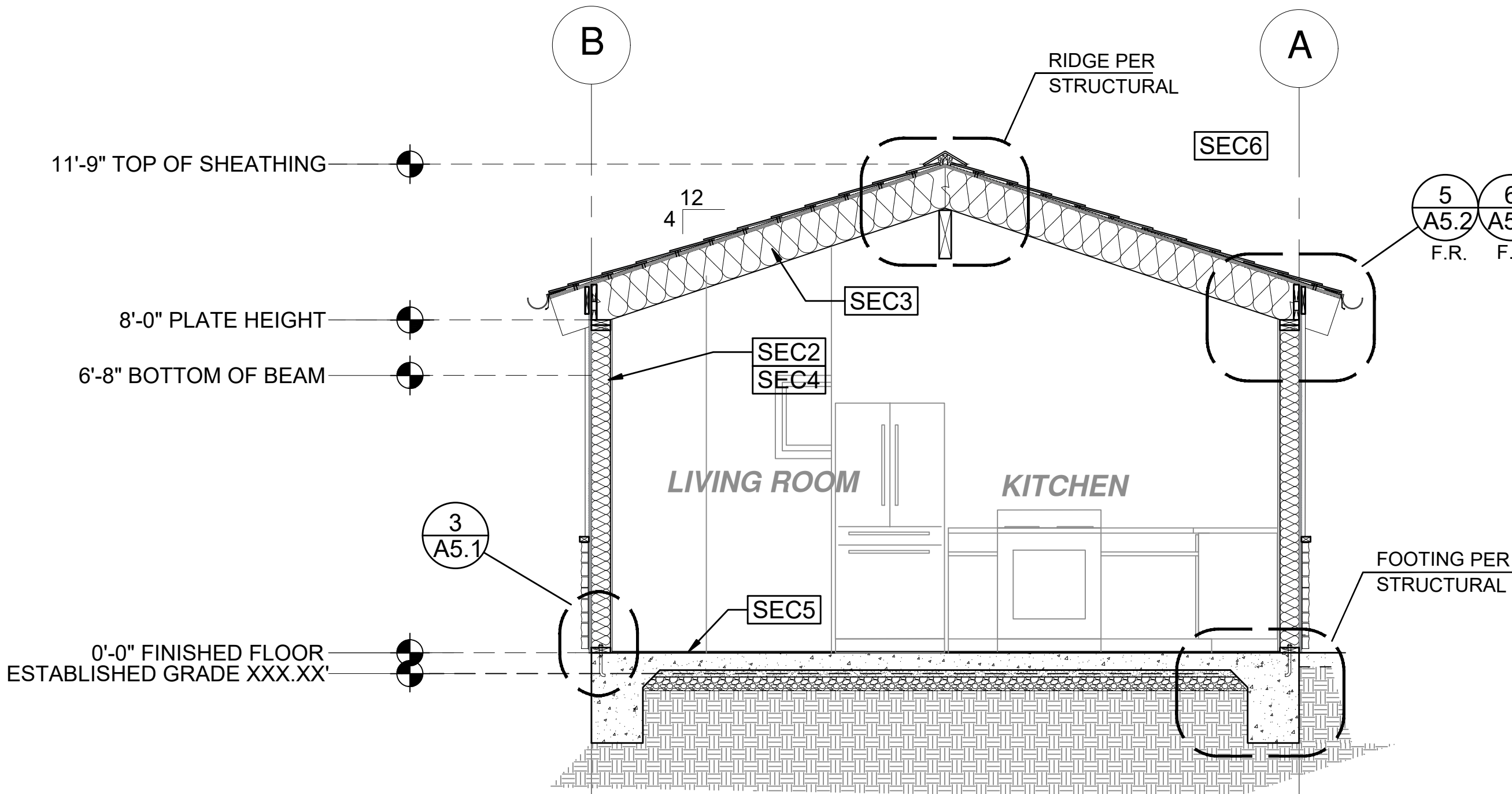
### SECTION GENERAL NOTES

- METALS  
SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.
- RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 3/8" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.
- FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.
- WOOD SOFFIT/CEILING, SIDING & TRIM  
ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED
- INSULATION  
THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.
- FLASHING AND SHEET METAL  
ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
- THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, & STRUCTURAL PLANS.  
KEYNOTES ONLY APPLY IF REFERENCED ON PLANS  
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2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2019 CRC SECTION R302.11:  
A. SECTION R302.11:  
1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:  
A. VERTICALLY AT CEILING AND FLOOR LEVELS  
B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT
- AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS  
FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19  
FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION
- SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:  
1. TWO-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS  
2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS  
3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS  
4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD  
5. ONE-HALF-INCH GYPSUM BOARD  
6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD  
7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE  
8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION

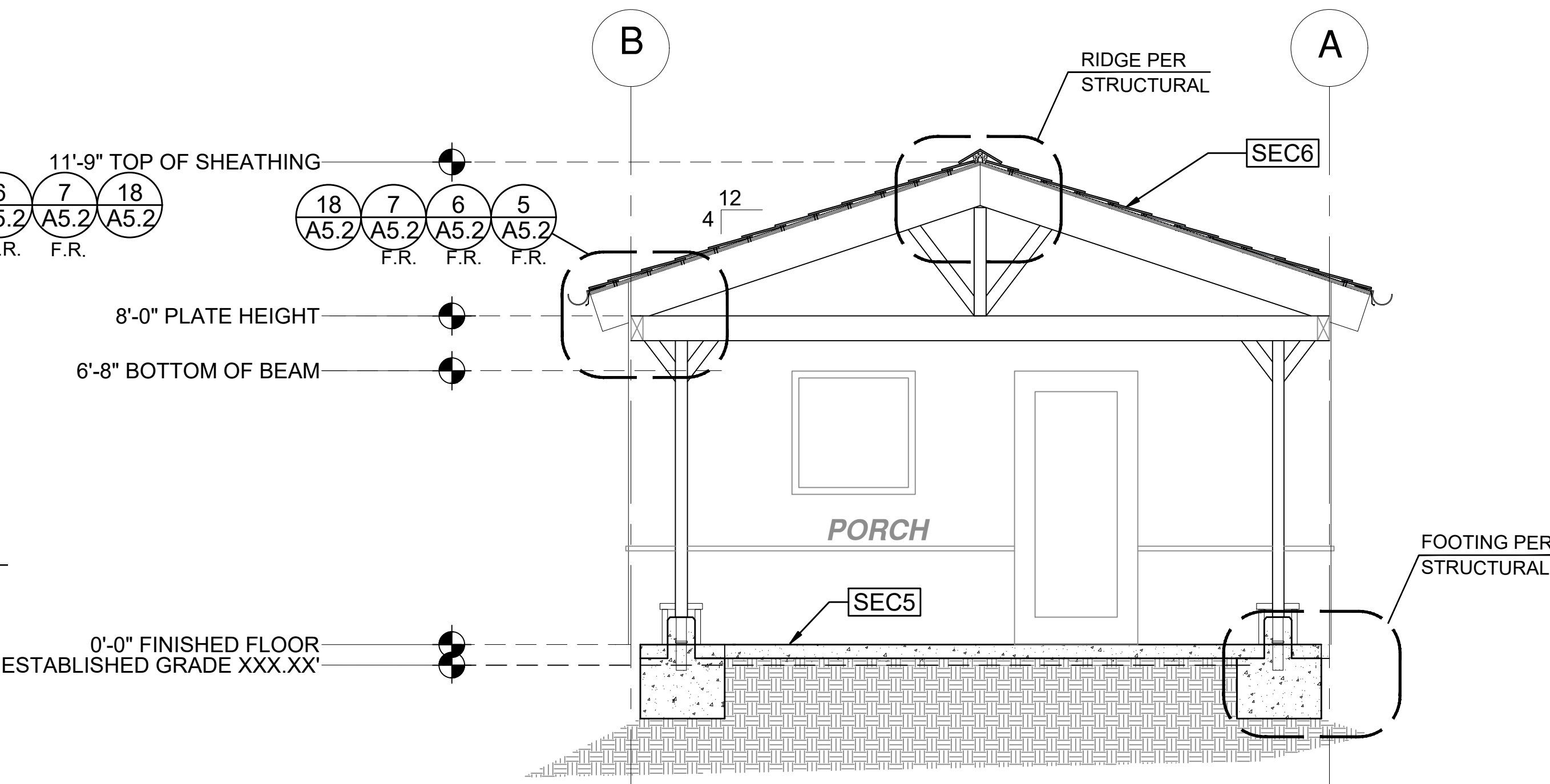
### LEGEND

- SECTION CUT  
 ELEVATION  
CALLOUT  
 DETAIL  
DRAWING REF.  
 ELEVATION  
MARKER

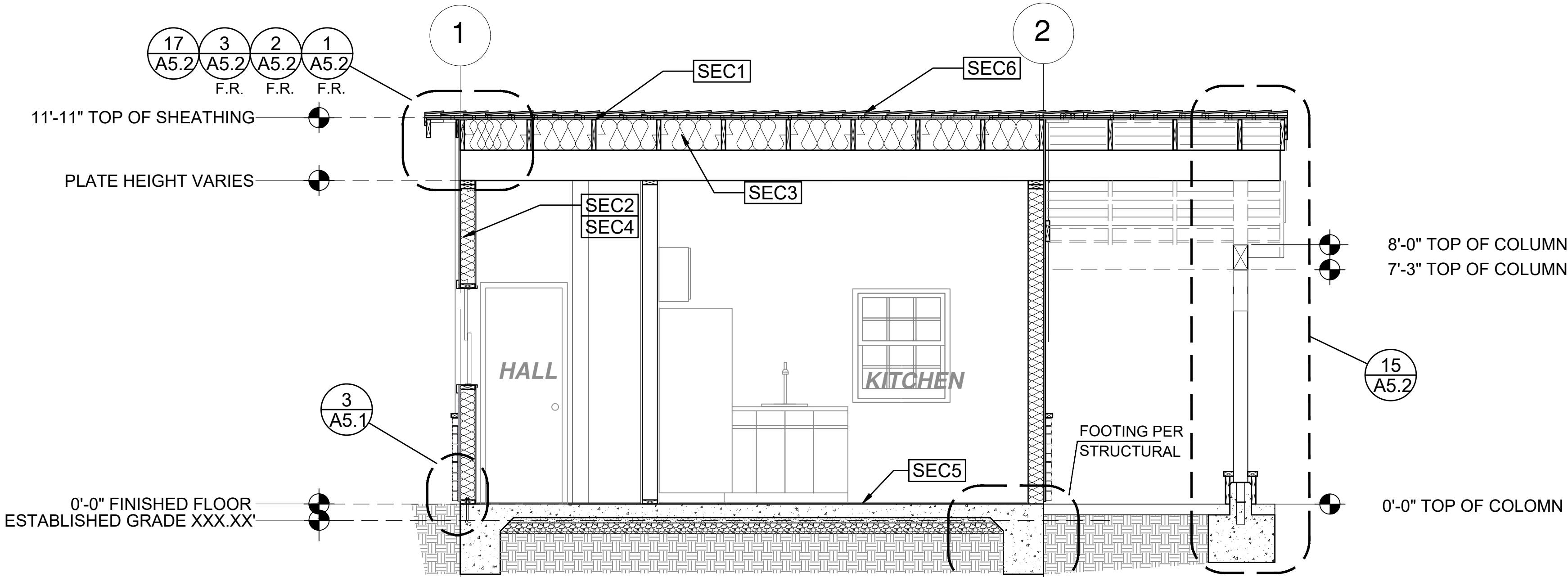




SECTION - Porch Component 0B



SECTION - Porch Component 0B



SECTION - Porch Component 0B

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION R VALUE PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 3/8" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION,</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. KEYNOTES ONLY APPLY IF REFERENCED ON PLANS</p> <p>1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION</p> <p>2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2019 CRC SECTION R302.11: A. SECTION R302.11: 1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19 FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL NUMBER 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE-HALF-INCH GYPSUM BOARD 6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p>

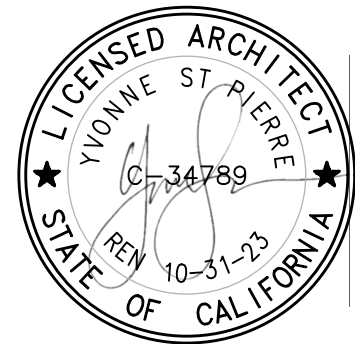
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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Building  
Sections  
Ranch  
Component

date

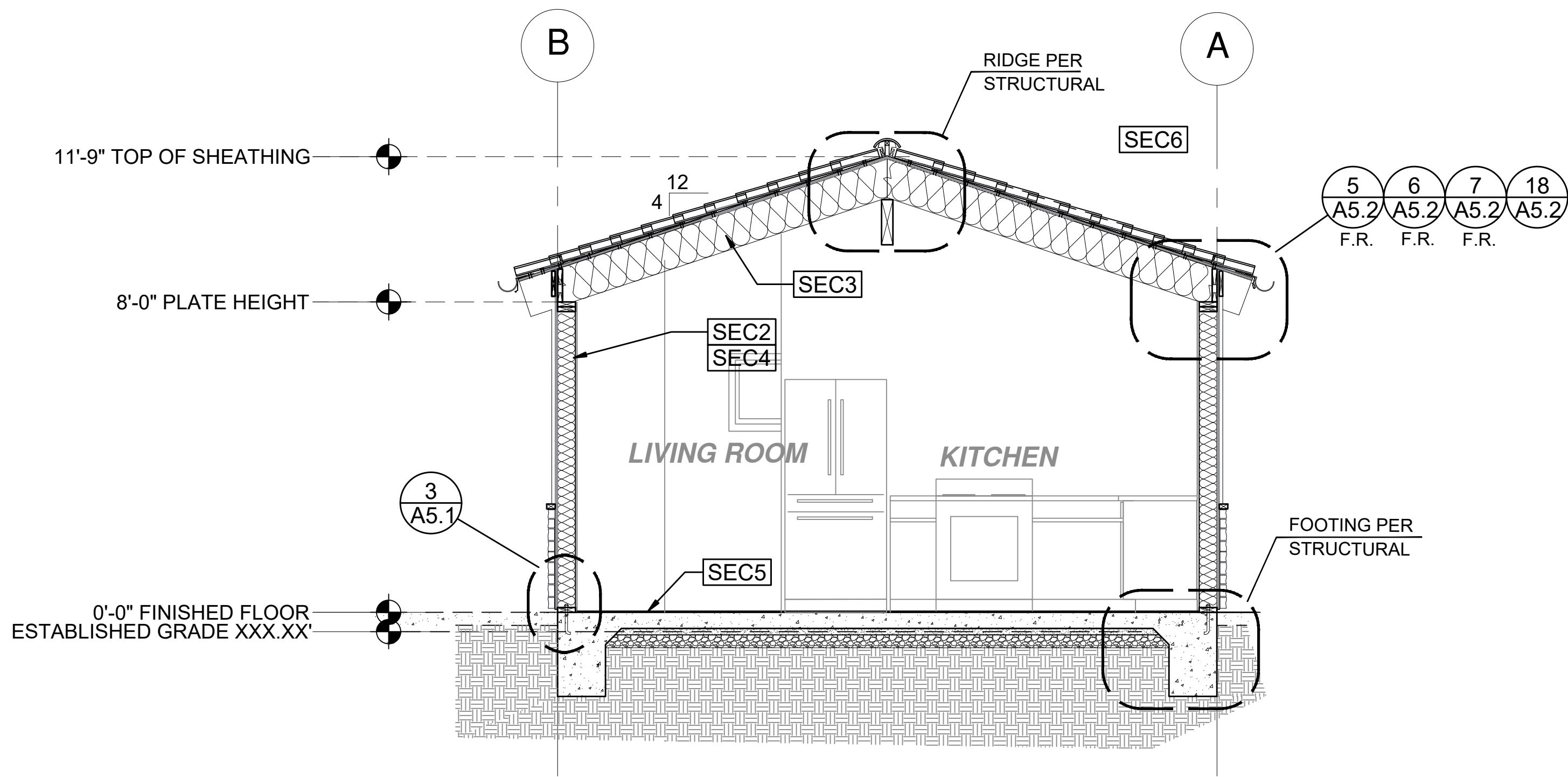
project no. 2024\_Moreno ADU

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sheet no.

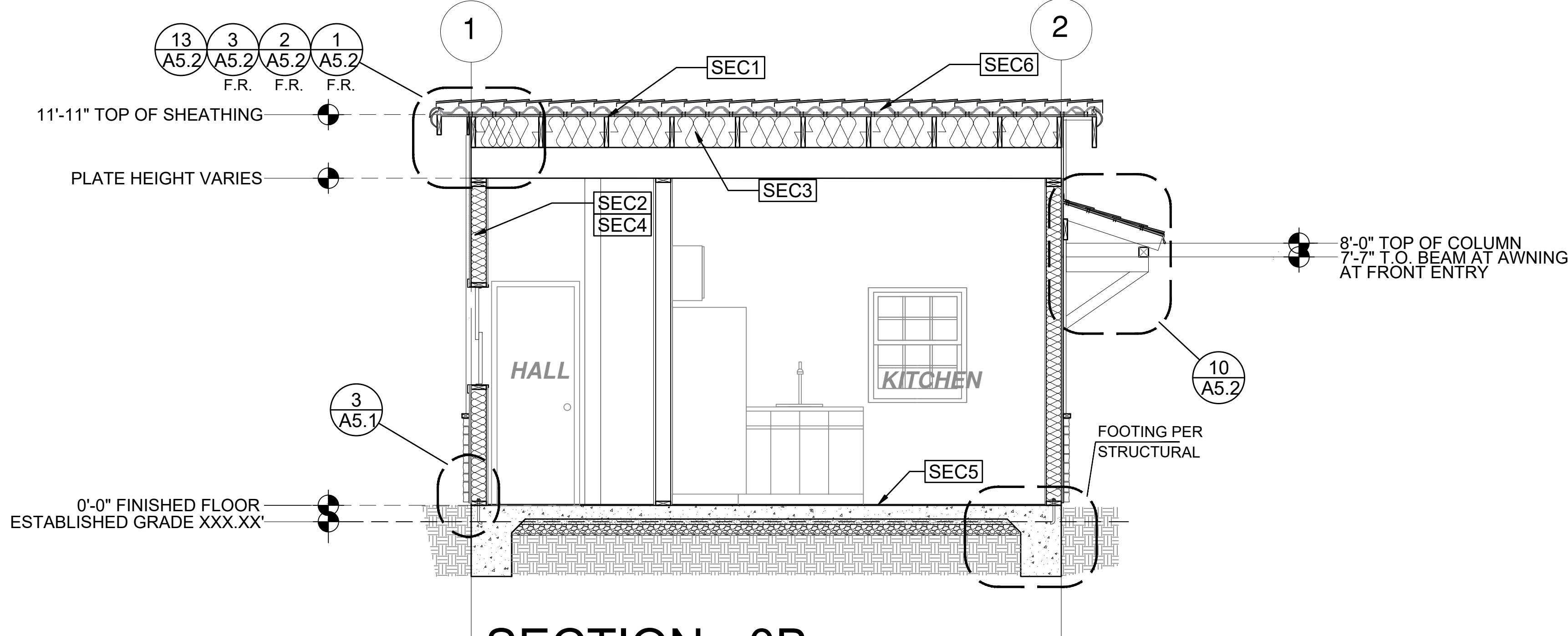
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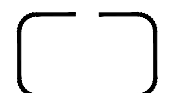
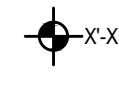
## SECTION - 0B

TUSCAN 3/8"=1'-0"



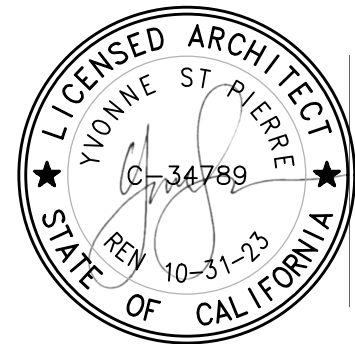
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City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Building  
Sections  
Tuscan  
Base

date

project no. 2024\_Moreno ADU

drawn by

sheet no.

A4.3

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project

City of Moreno  
Valley Permitted  
ADU Plan Set

revisions



description

Building  
Sections  
Tuscan  
Component

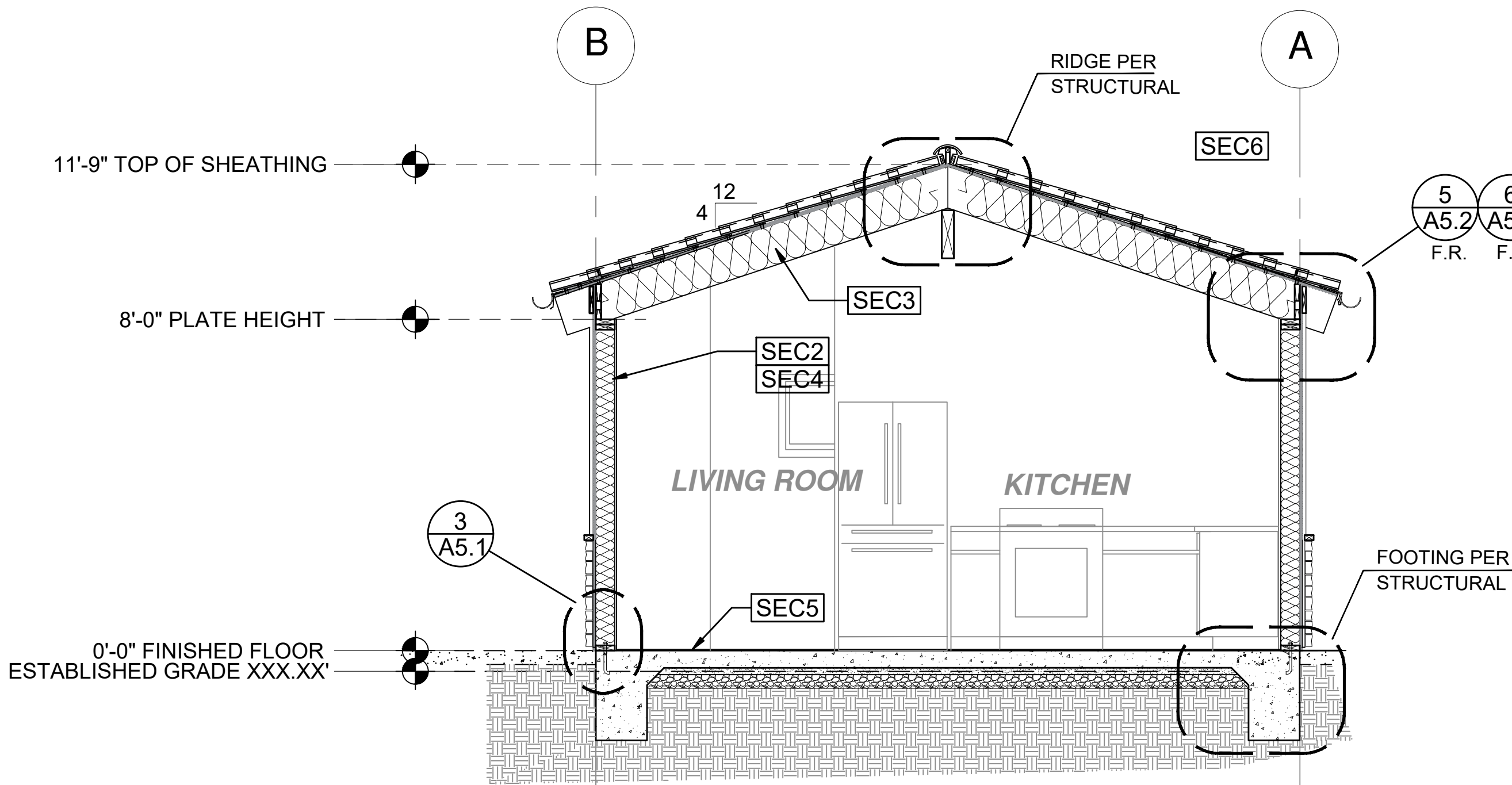
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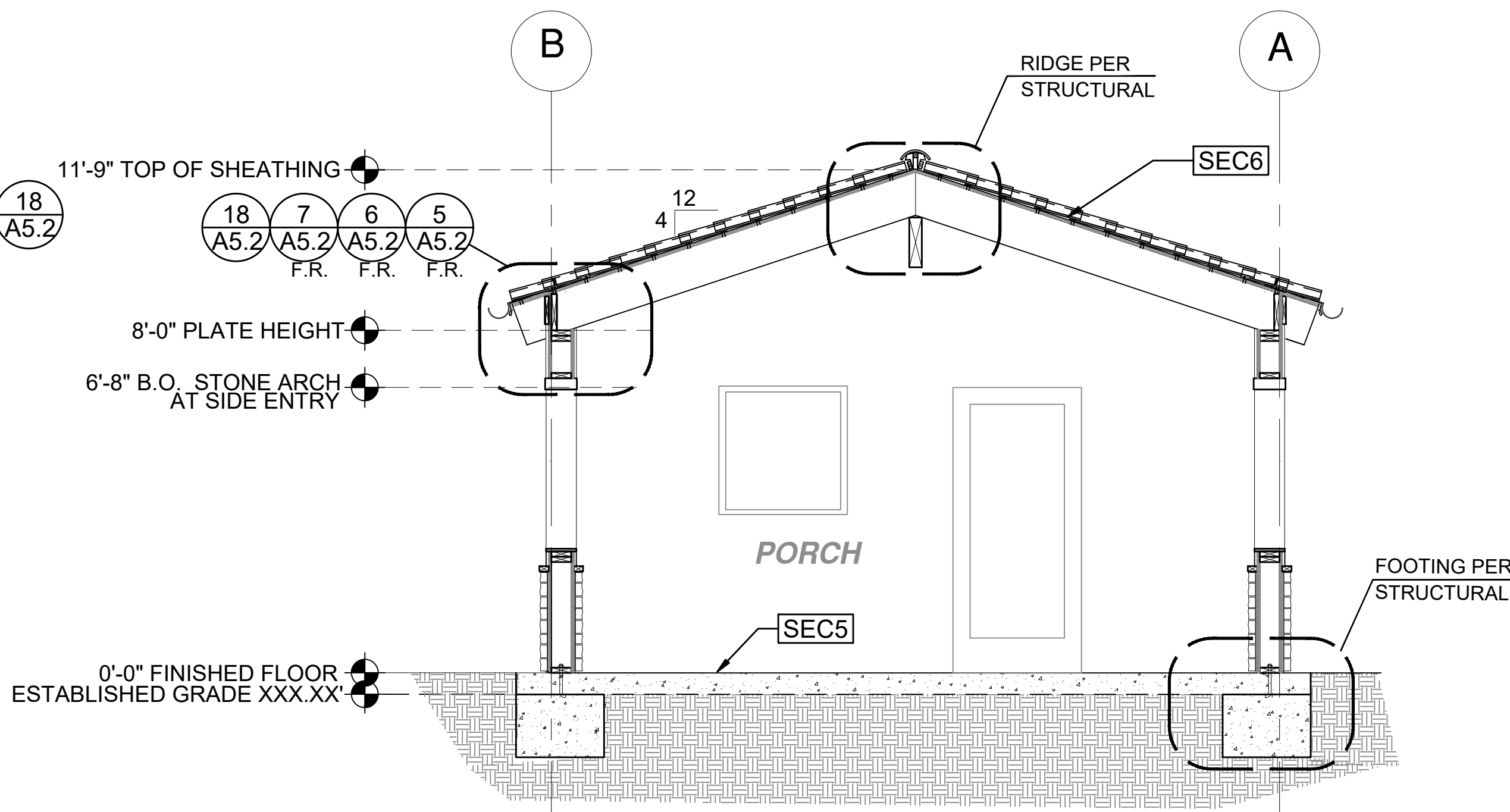
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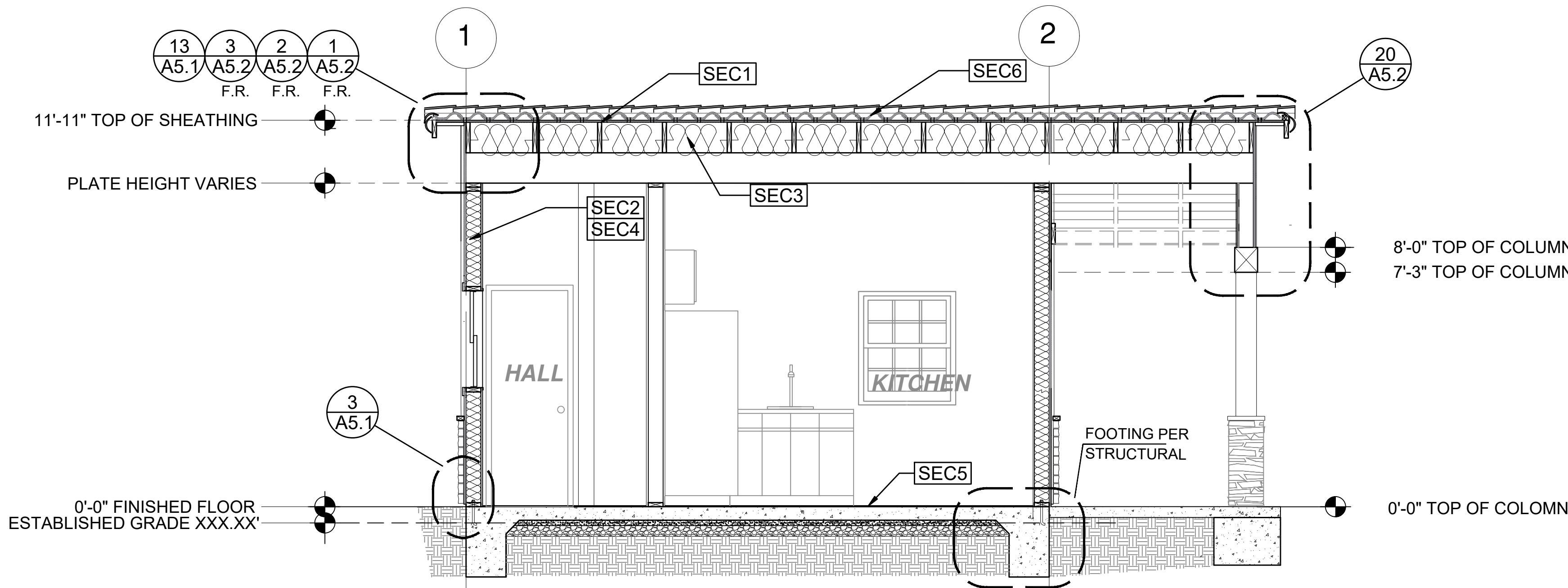
A4.4



1 SECTION - Porch Component 0B  
TUSCAN 3/8"=1'-0"



3 SECTION - Porch Component 0B  
TUSCAN 3/8"=1'-0"



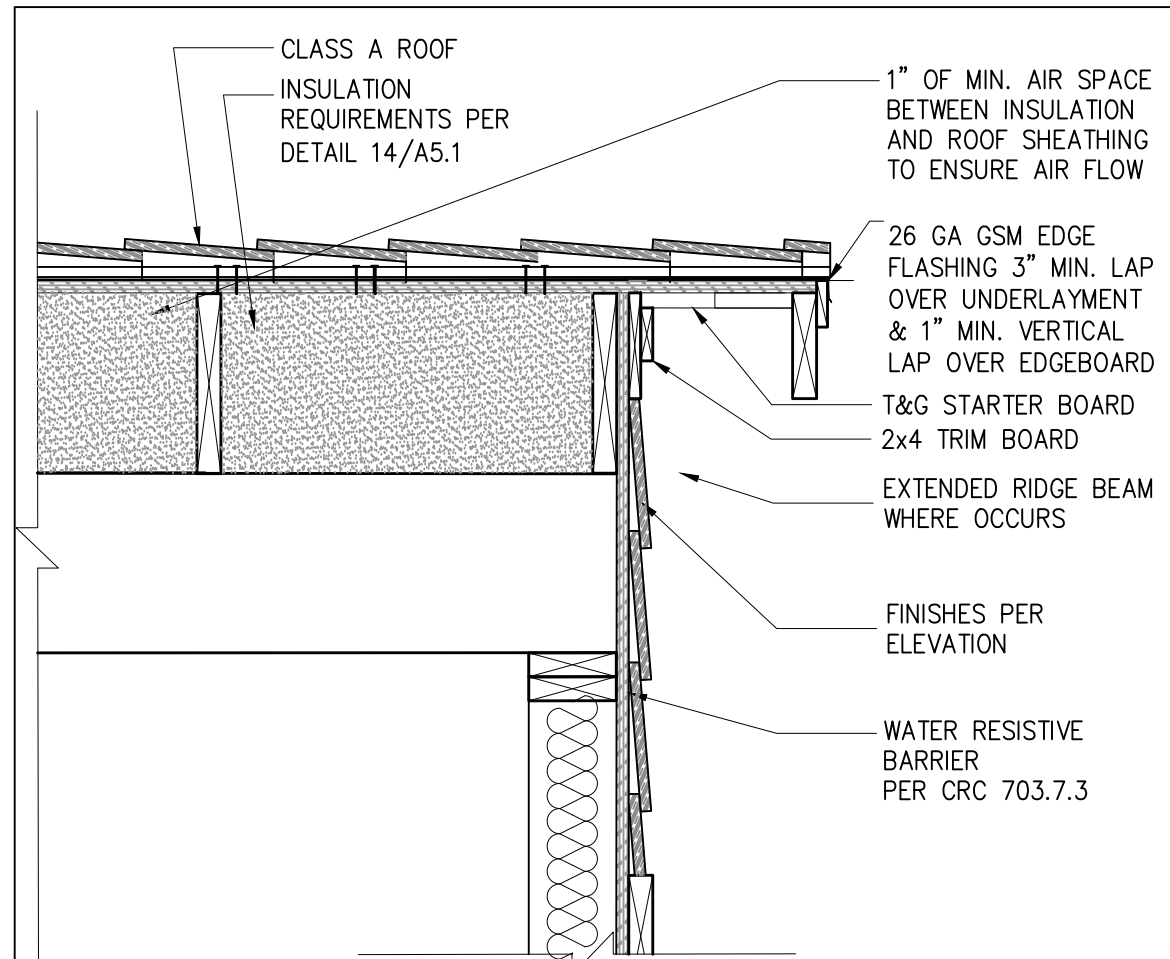
2 SECTION - Porch Component 0B  
TUSCAN 3/8"=1'-0"

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION R VALUE PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/8" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTERTOP FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. KEYNOTES ONLY APPLY IF REFERENCED ON PLANS</p> <p>1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION</p> <p>2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2019 CRC SECTION R302.11: A. SECTION R302.11: 1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E158 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19 FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE-HALF-INCH GYPSUM BOARD 6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 283, FOR THE SPECIFIC APPLICATION</p>	<p> SECTION CUT</p> <p> ELEVATION CALLOUT</p> <p> DETAIL DRAWING REF.</p> <p> ELEVATION MARKER</p>

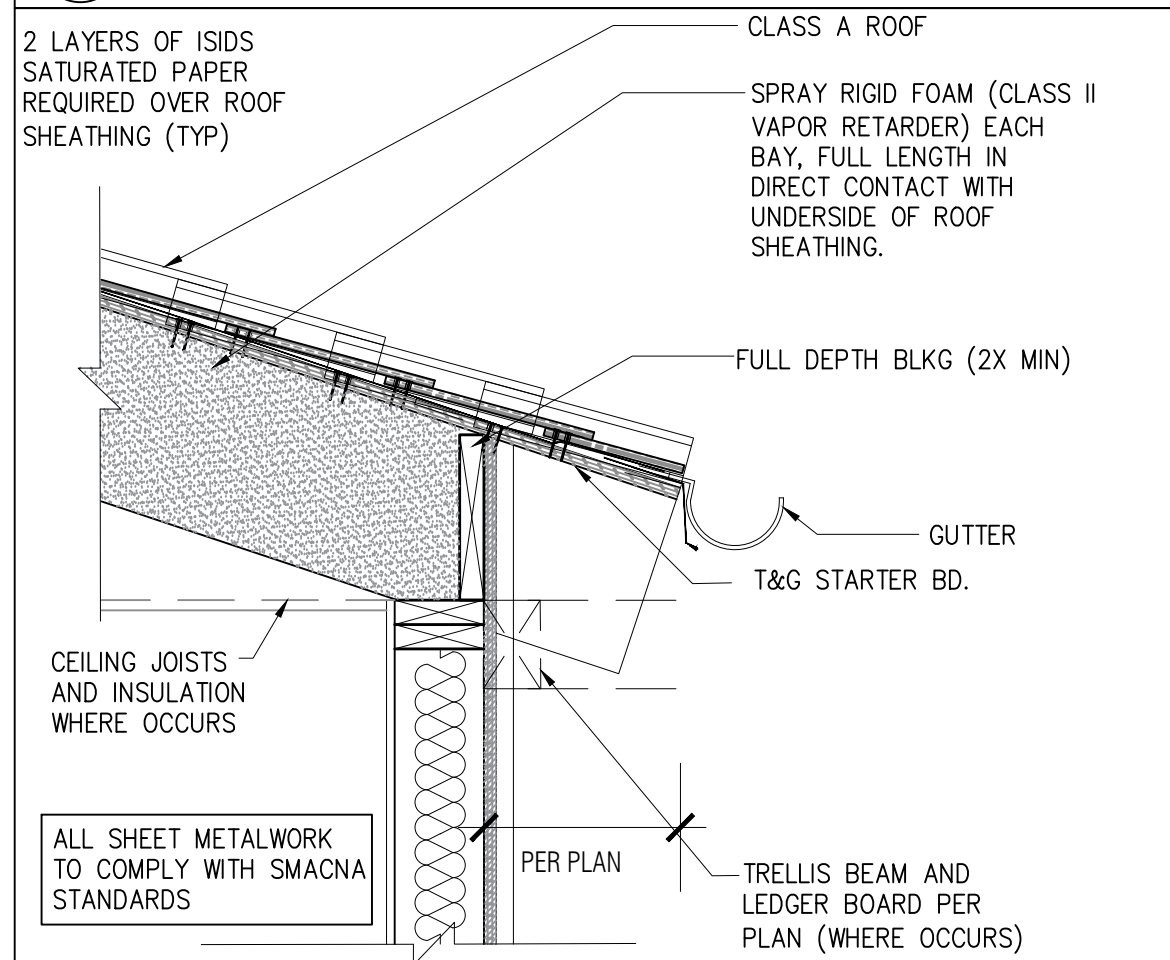




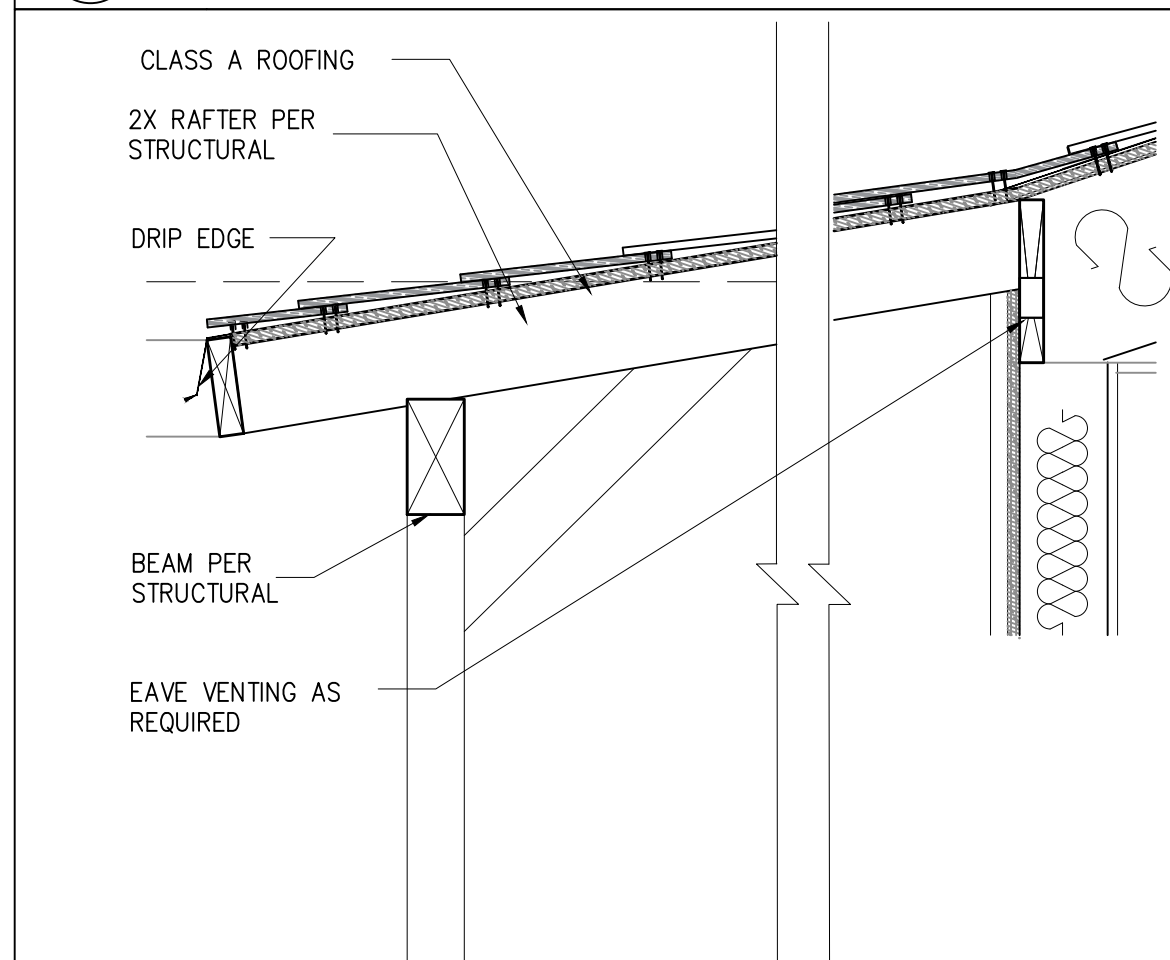




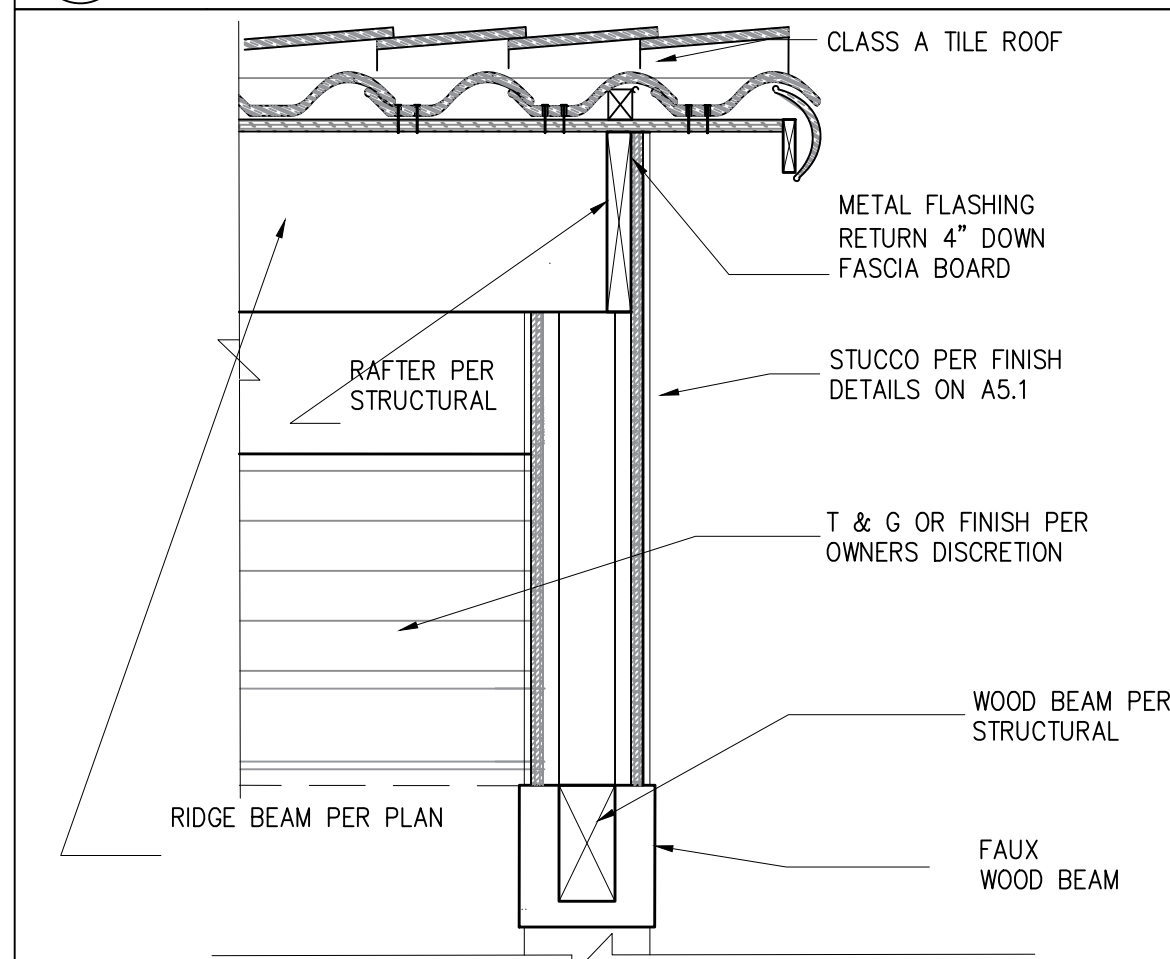
17 GABLE DETAIL AT RANCH  
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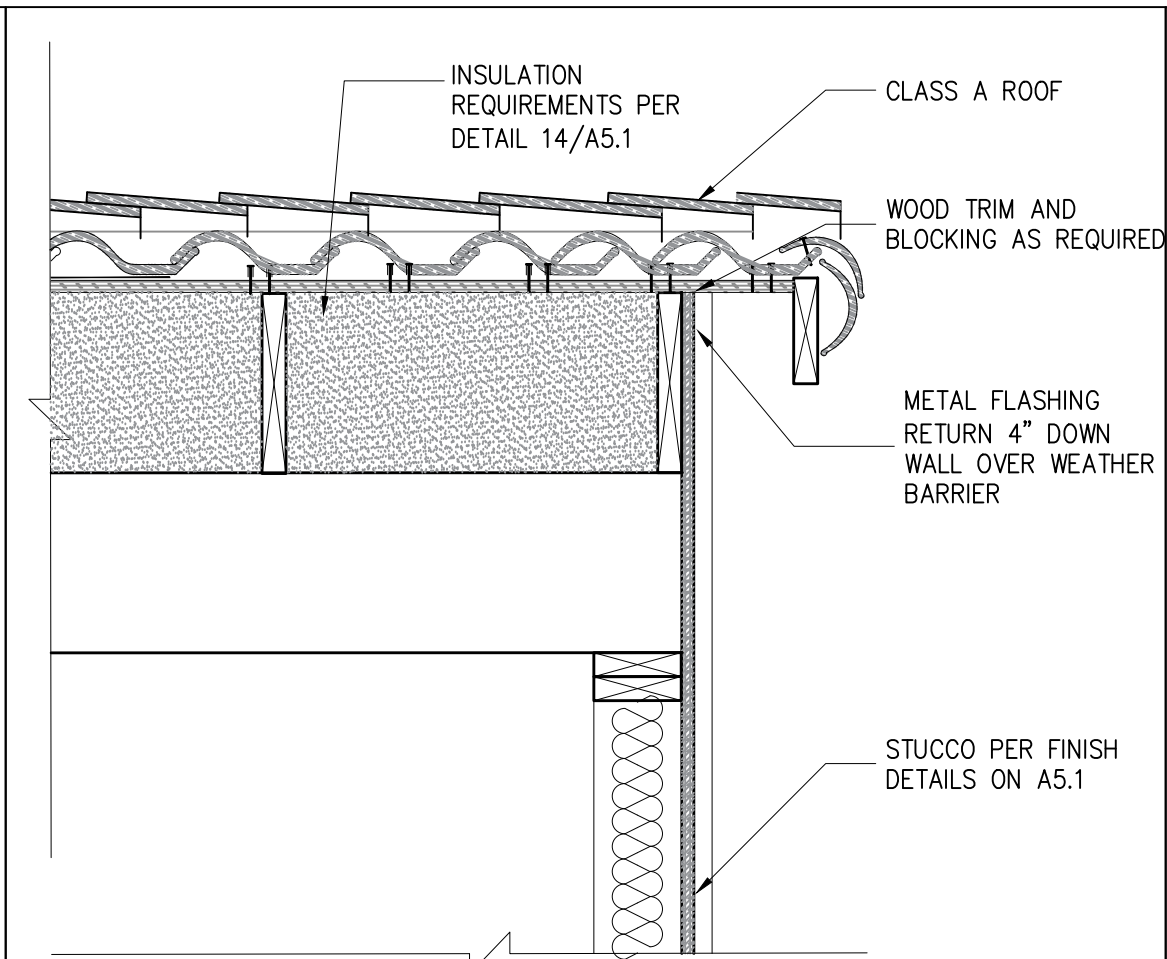
18 RAFTER EAVE DETAIL  
SCALE: 1"=1'-0"



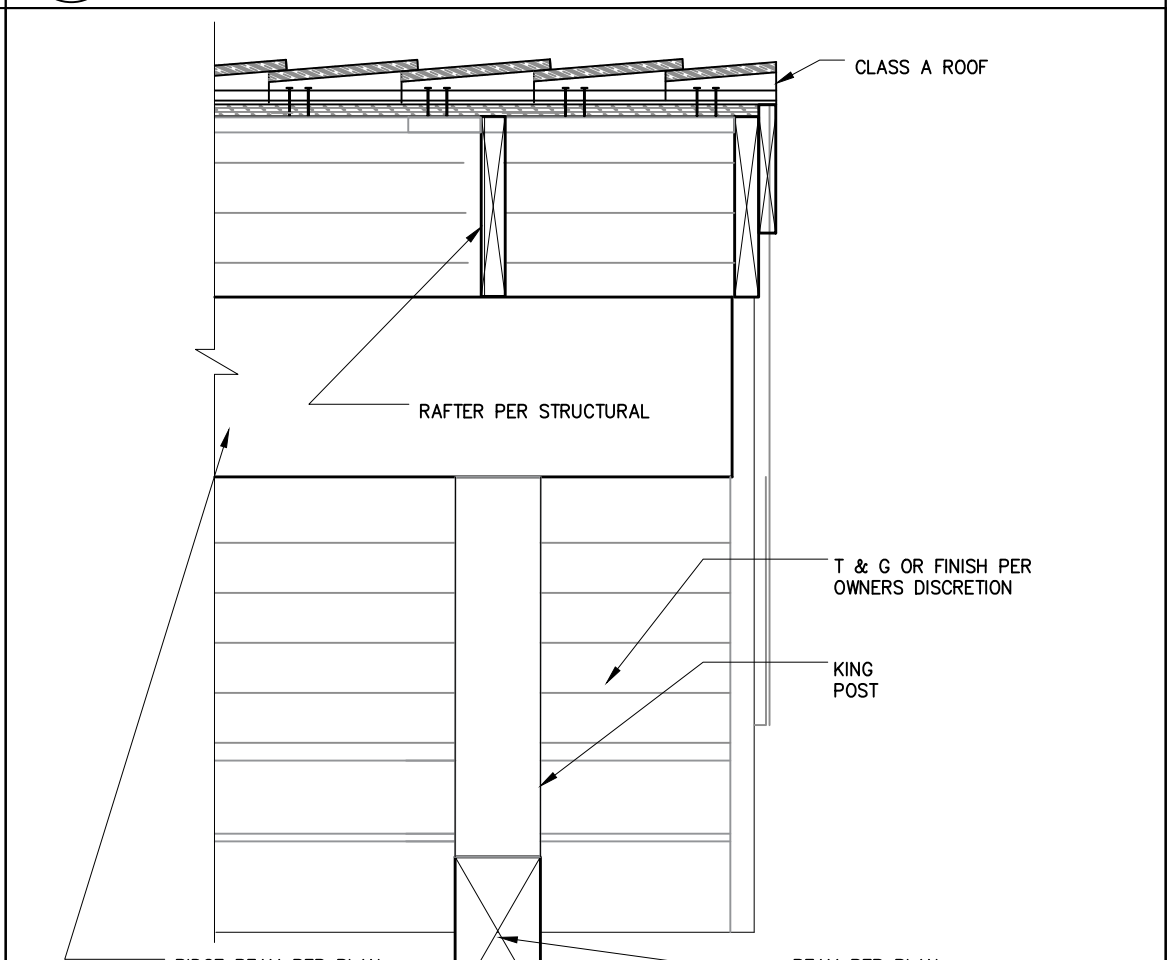
19 RAFTER DETAIL AT PORCH - RANCH  
SCALE: 1"=1'-0"



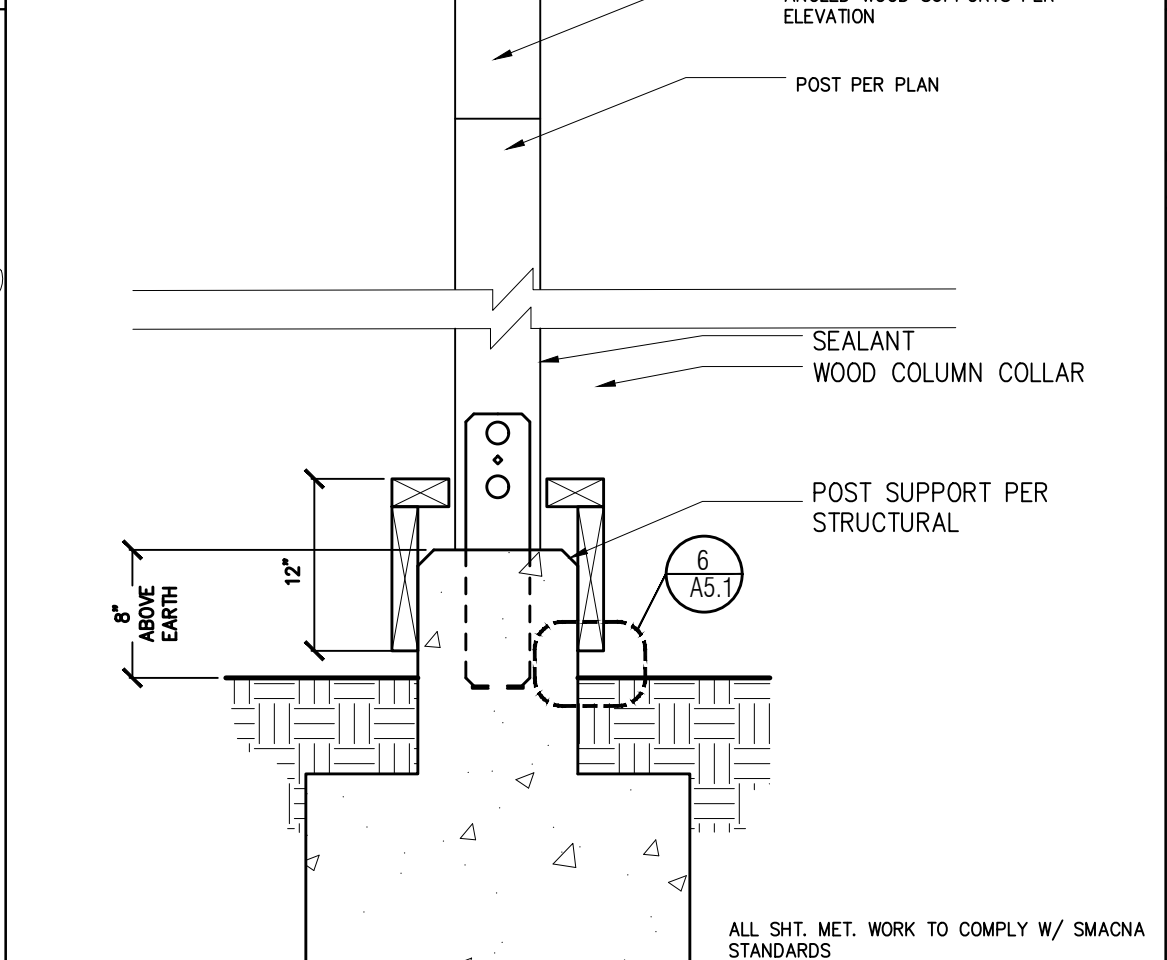
20 GABLE DETAIL @ PORCH - TUSCAN  
SCALE: 1"=1'-0"



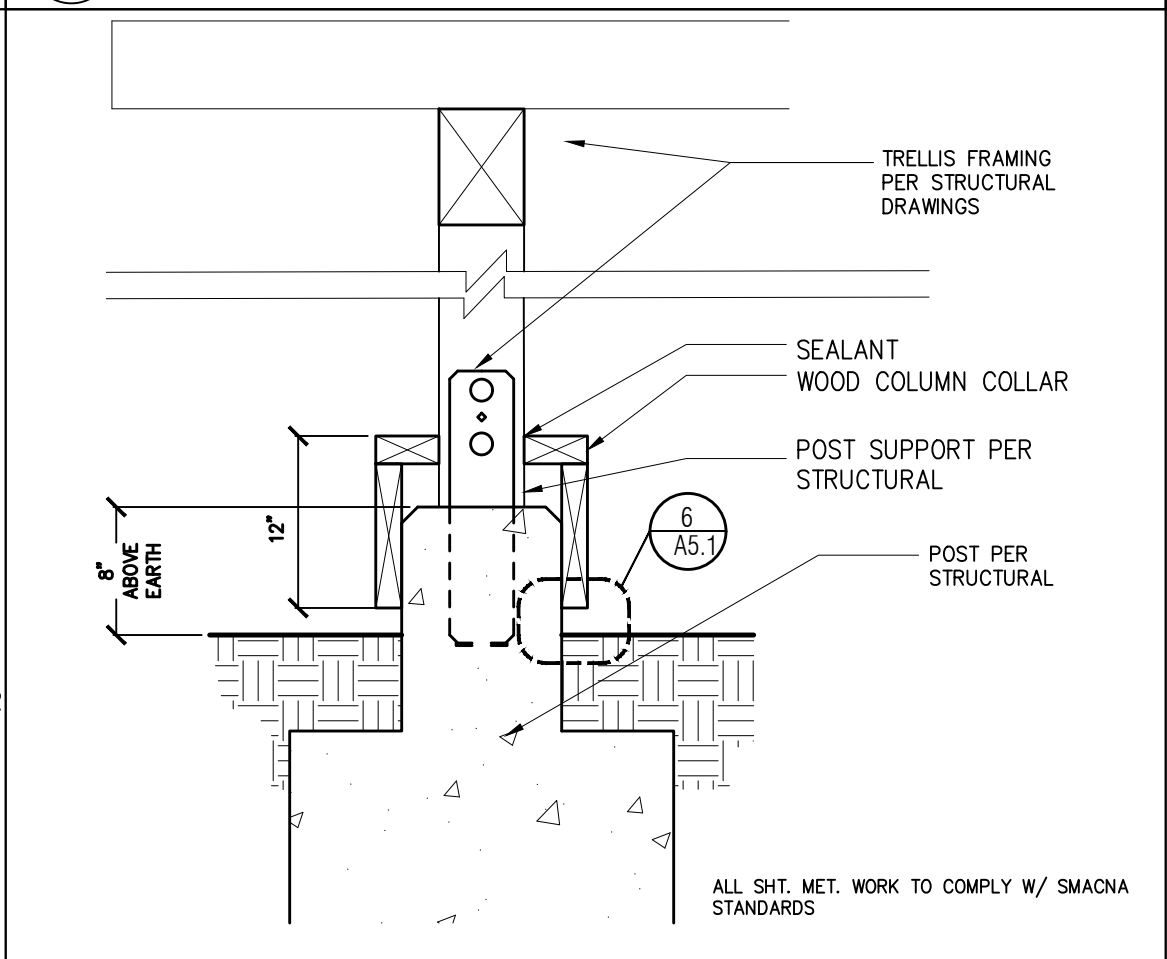
13 GABLE DETAIL @ TUSCAN  
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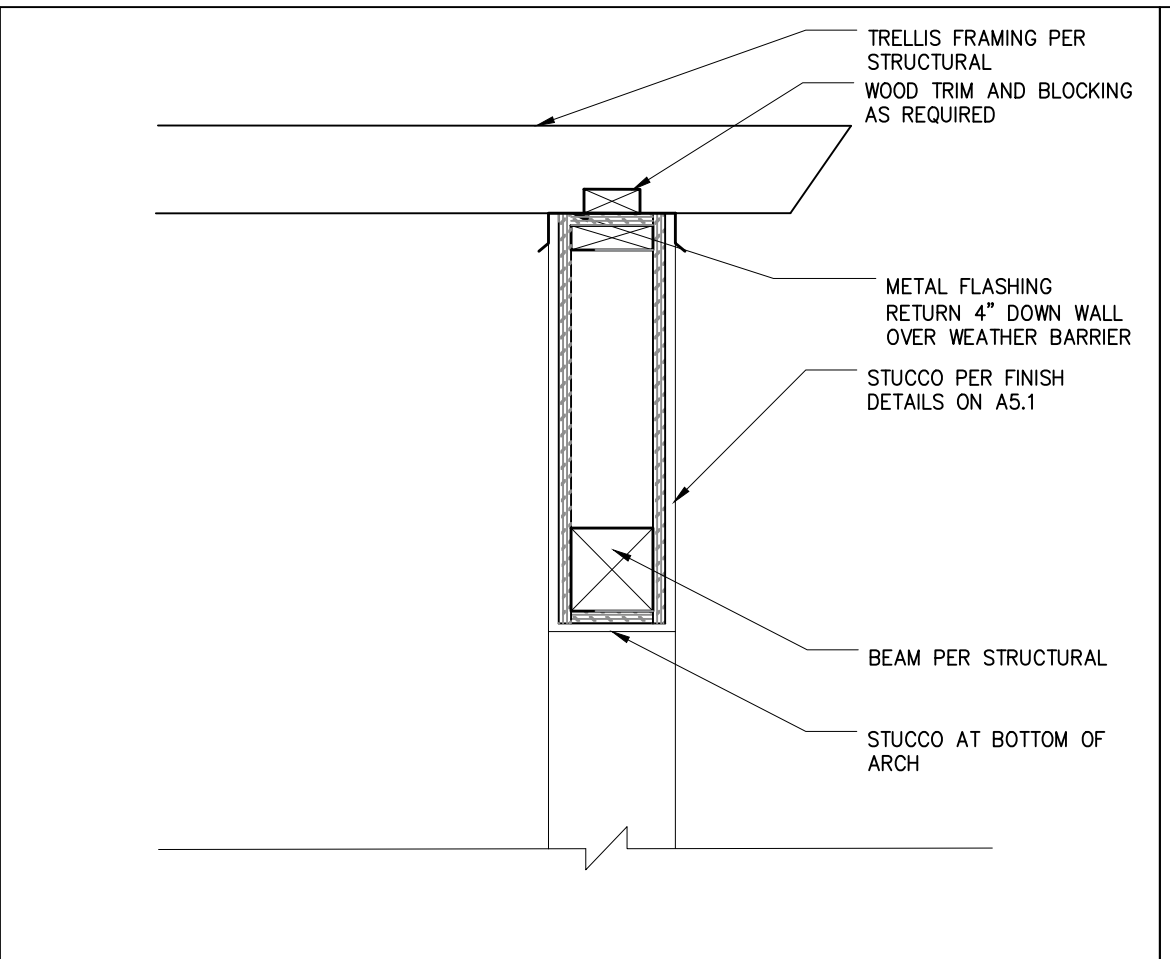
10 AWNING  
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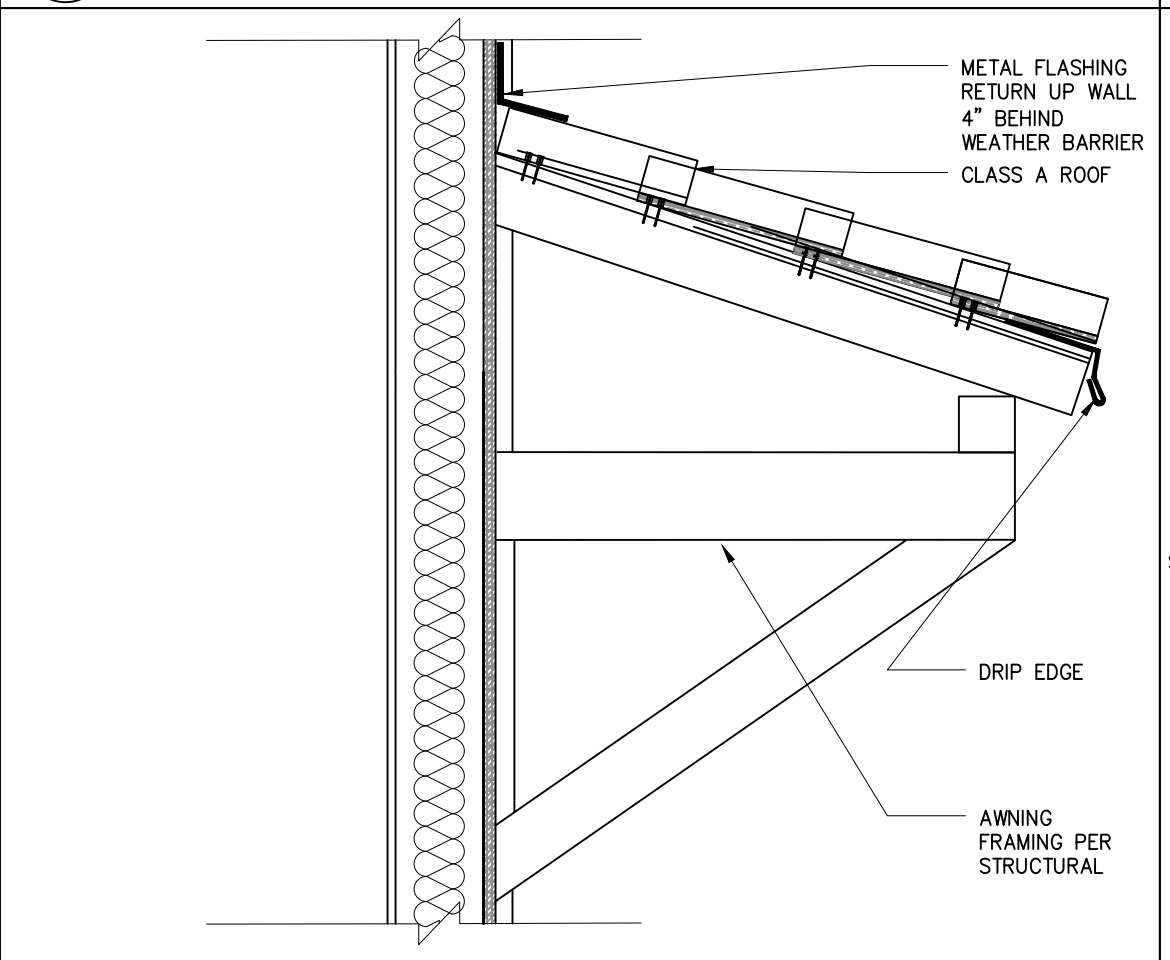
15 GABLE DETAIL AT FARMHOUSE PORCH POST  
SCALE: 1"=1'-0"



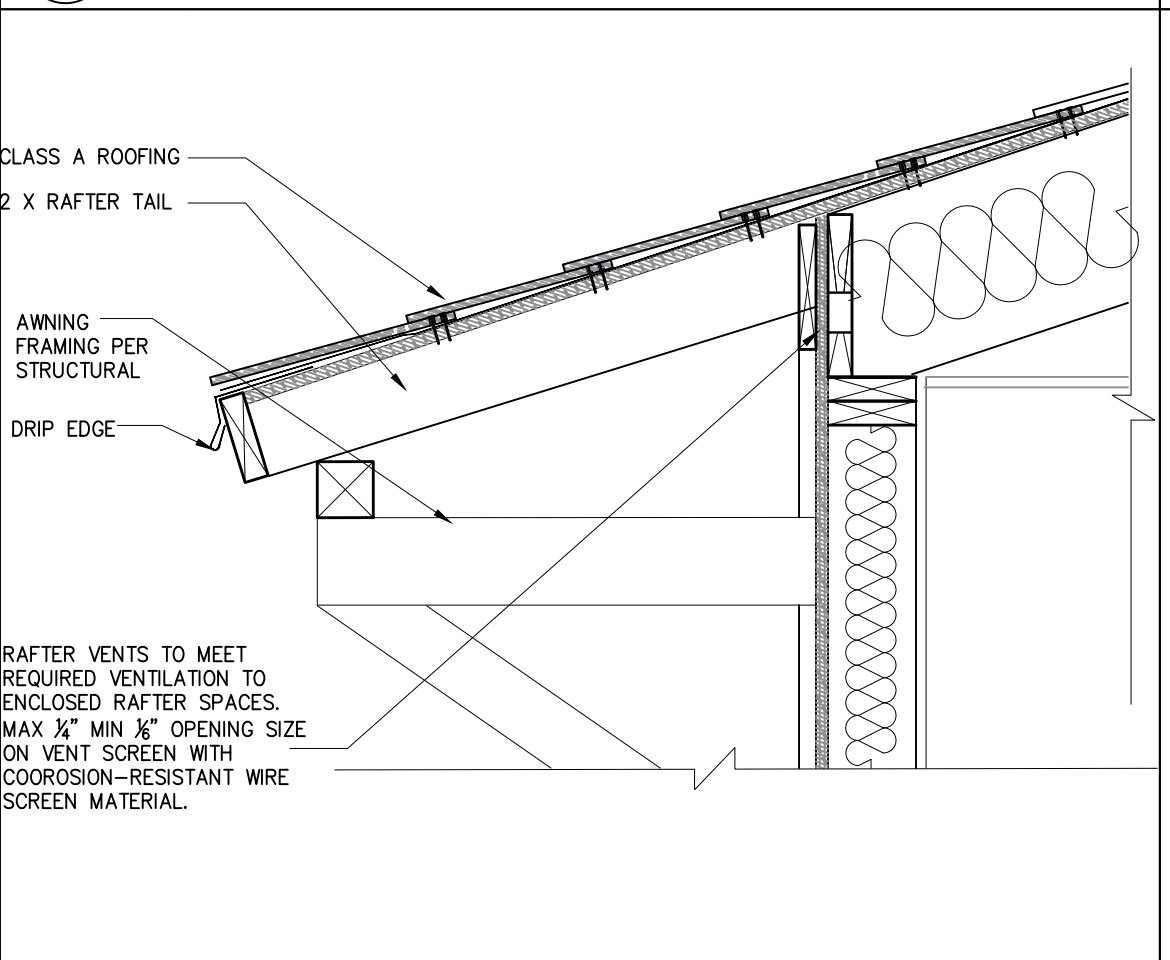
16 TRELLIS COLUMN - CRAFTSMAN/SPANISH  
SCALE: 1"=1'-0"



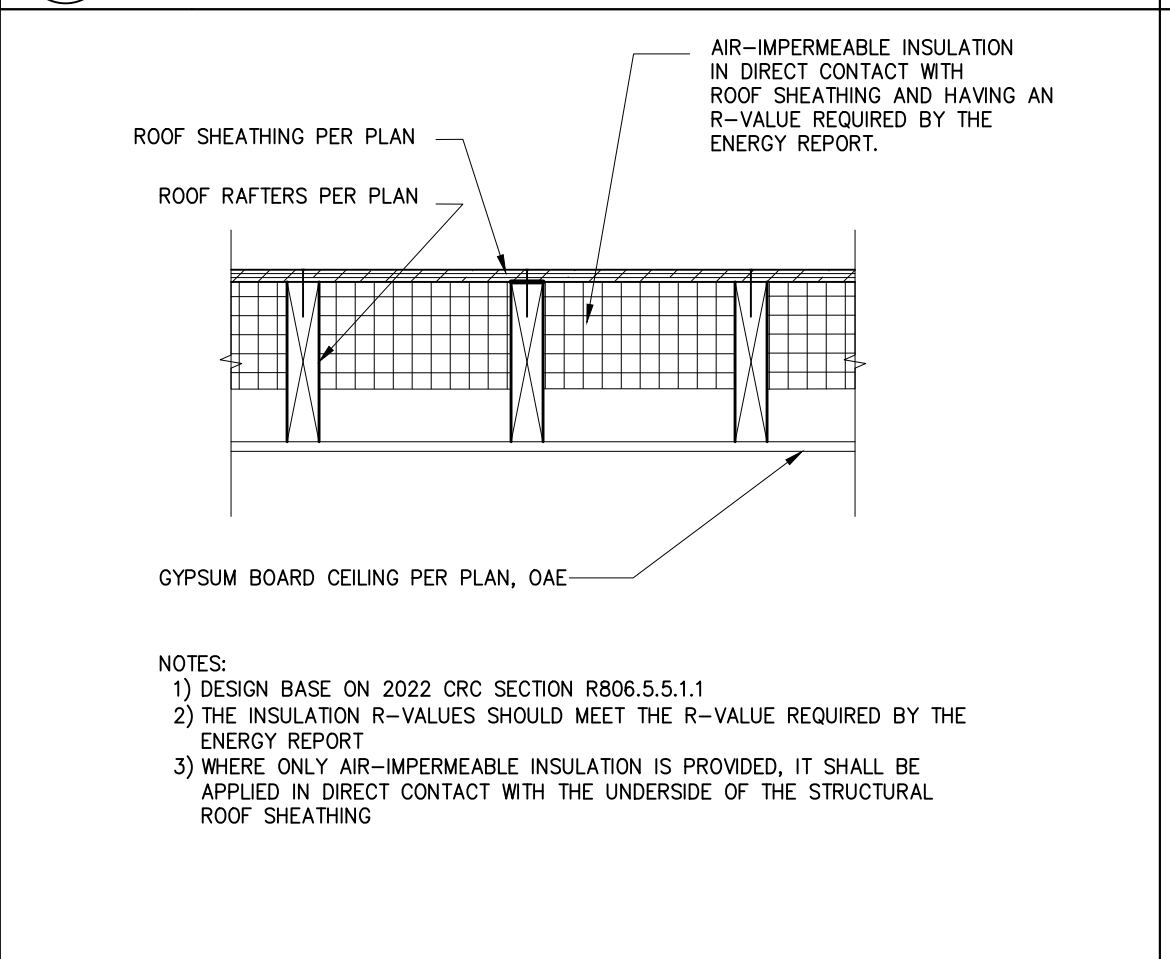
9 DET AT TRELLIS PORCH - TUSCAN  
SCALE: 1"=1'-0"



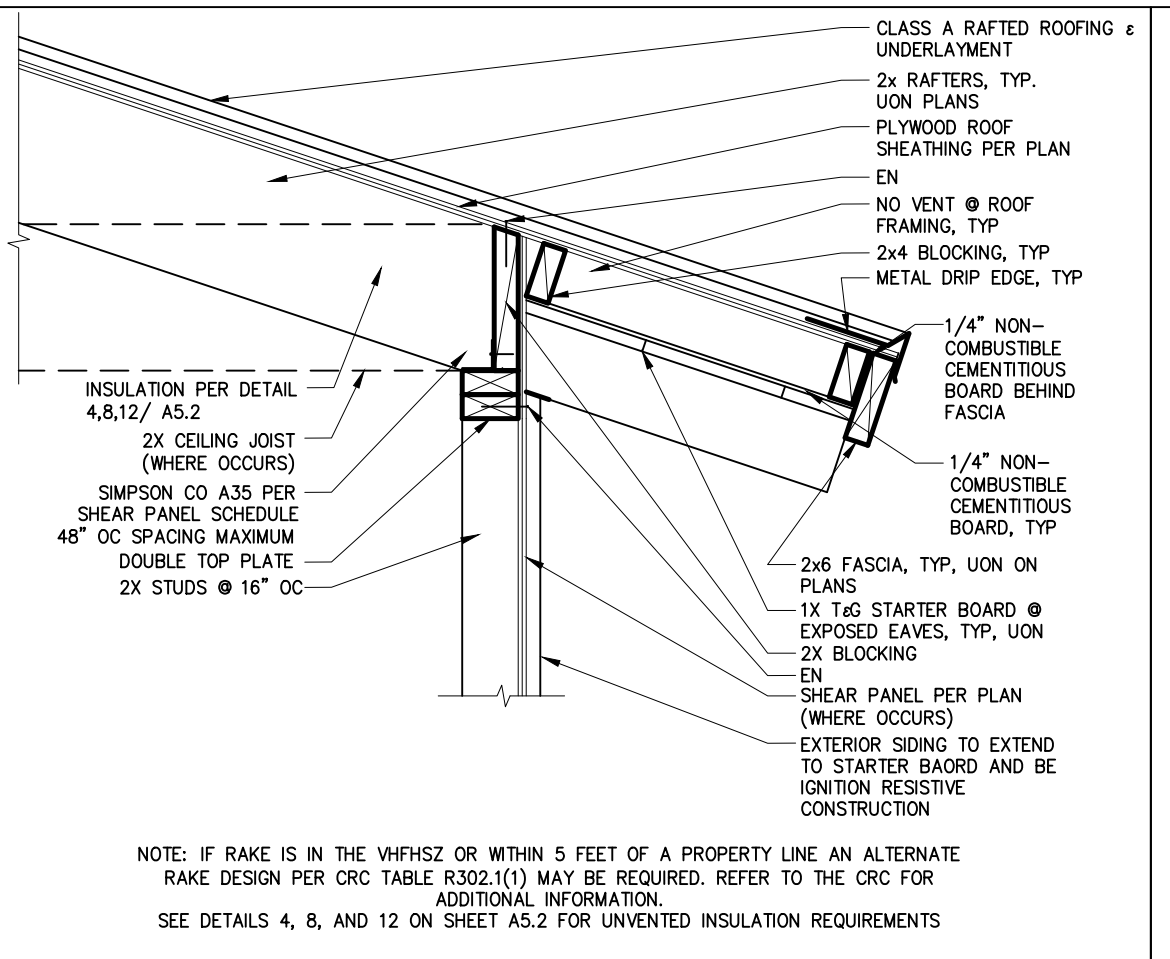
10 AWNING  
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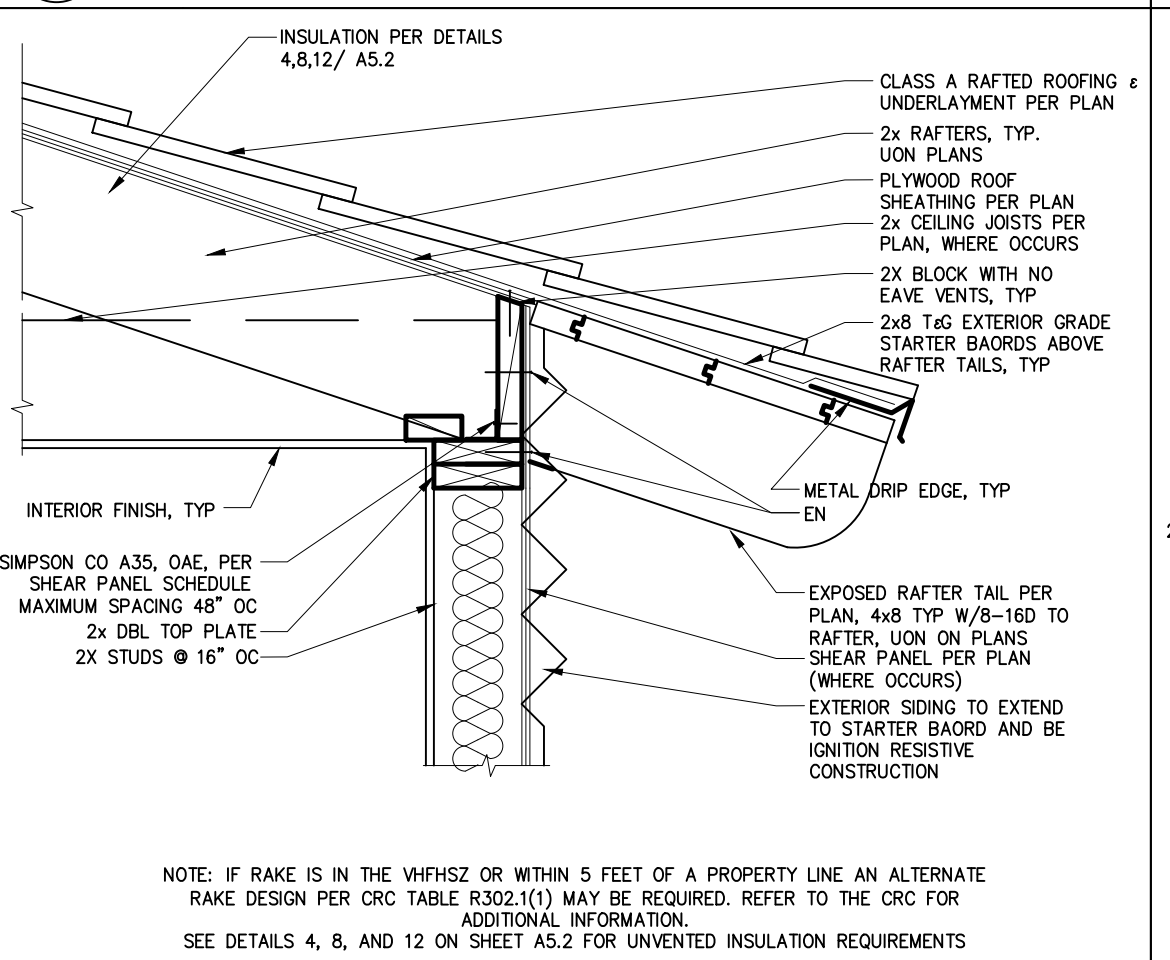
11 ROOF WITH AWNING EXTENSION - RANCH/TUSCAN  
SCALE: 1"=1'-0"



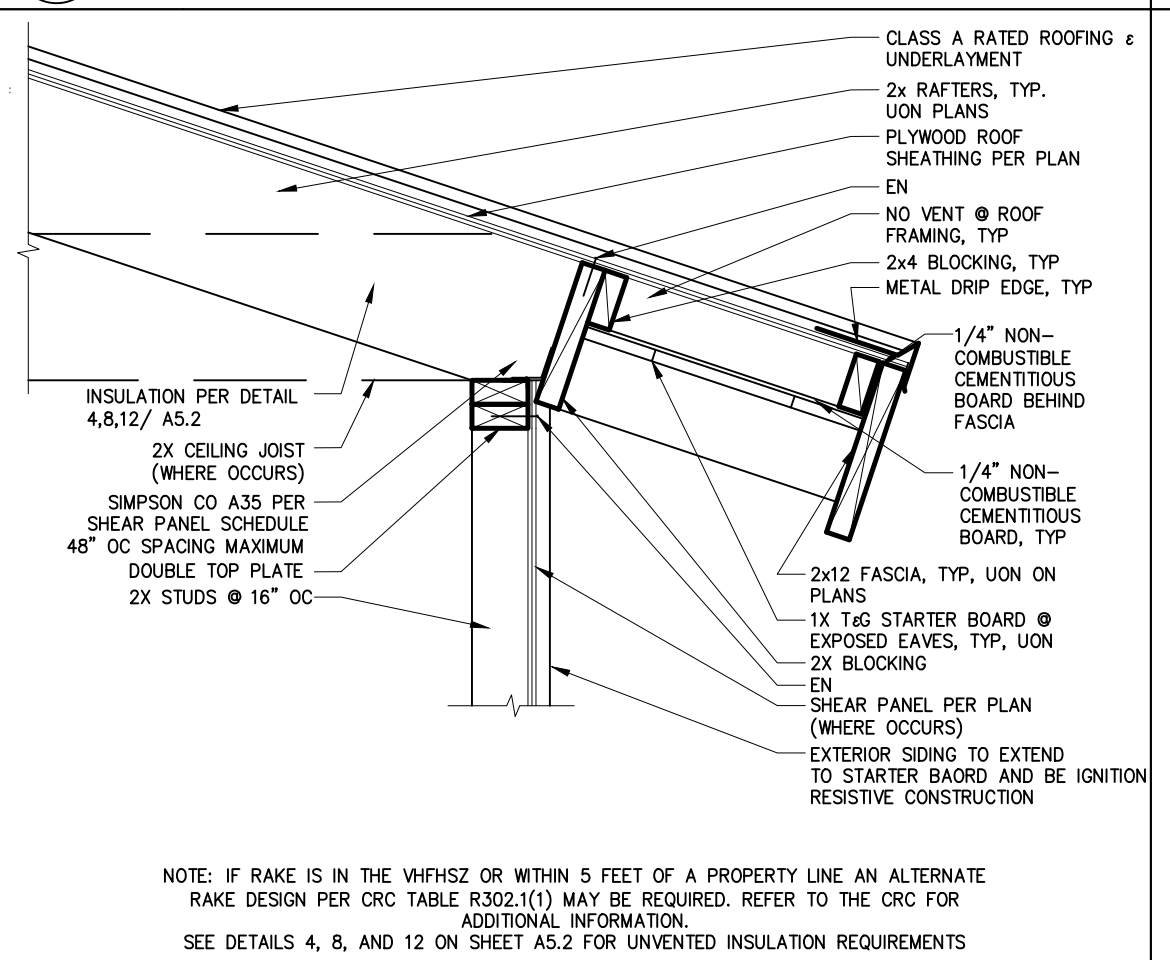
12 INSULATION @ UNVENTED ROOF ASSEMBLY IMPERMEABLE ONLY  
SCALE: 1"=1'-0"



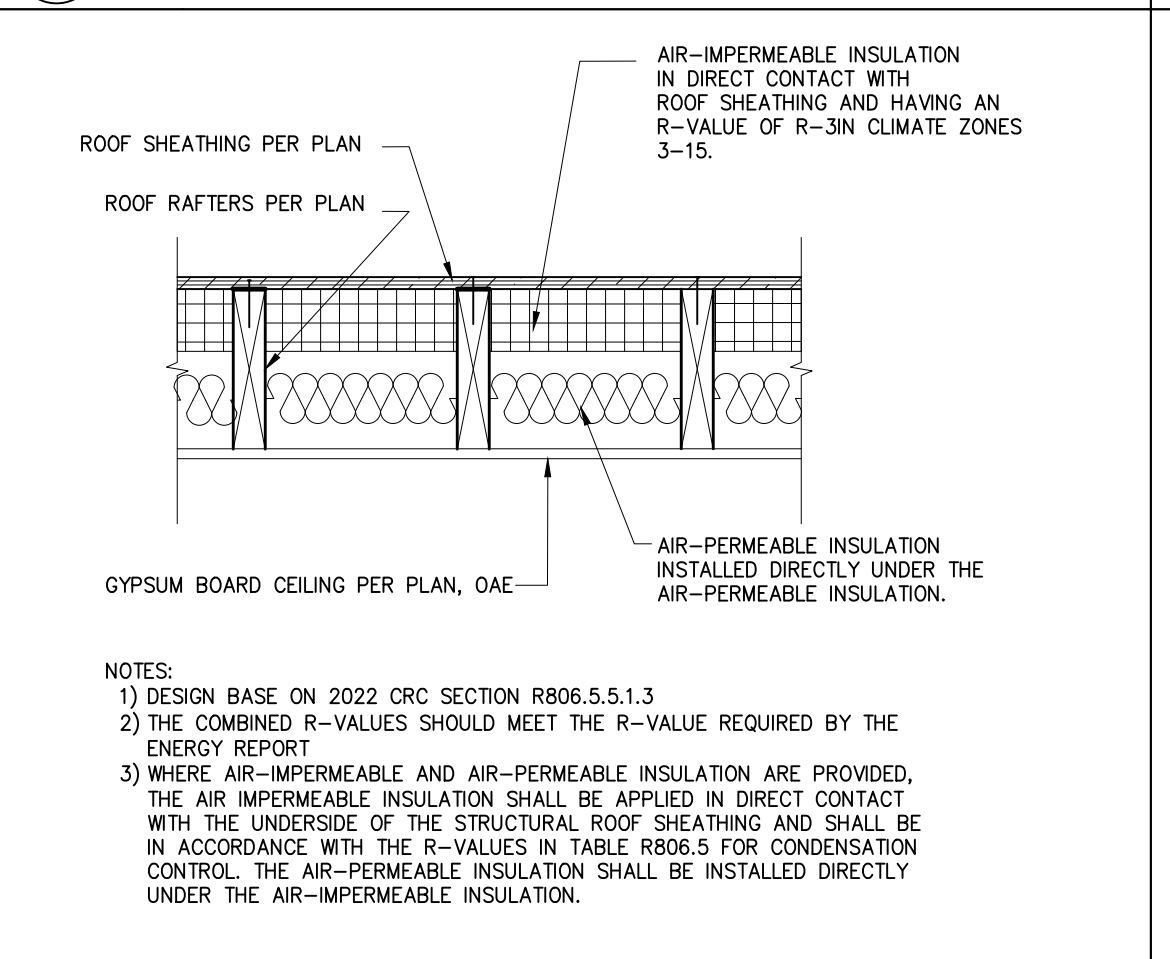
5 IGNITION RESISTIVE EXPOSED RAFTER EAVE  
SCALE: 1"=1'-0"



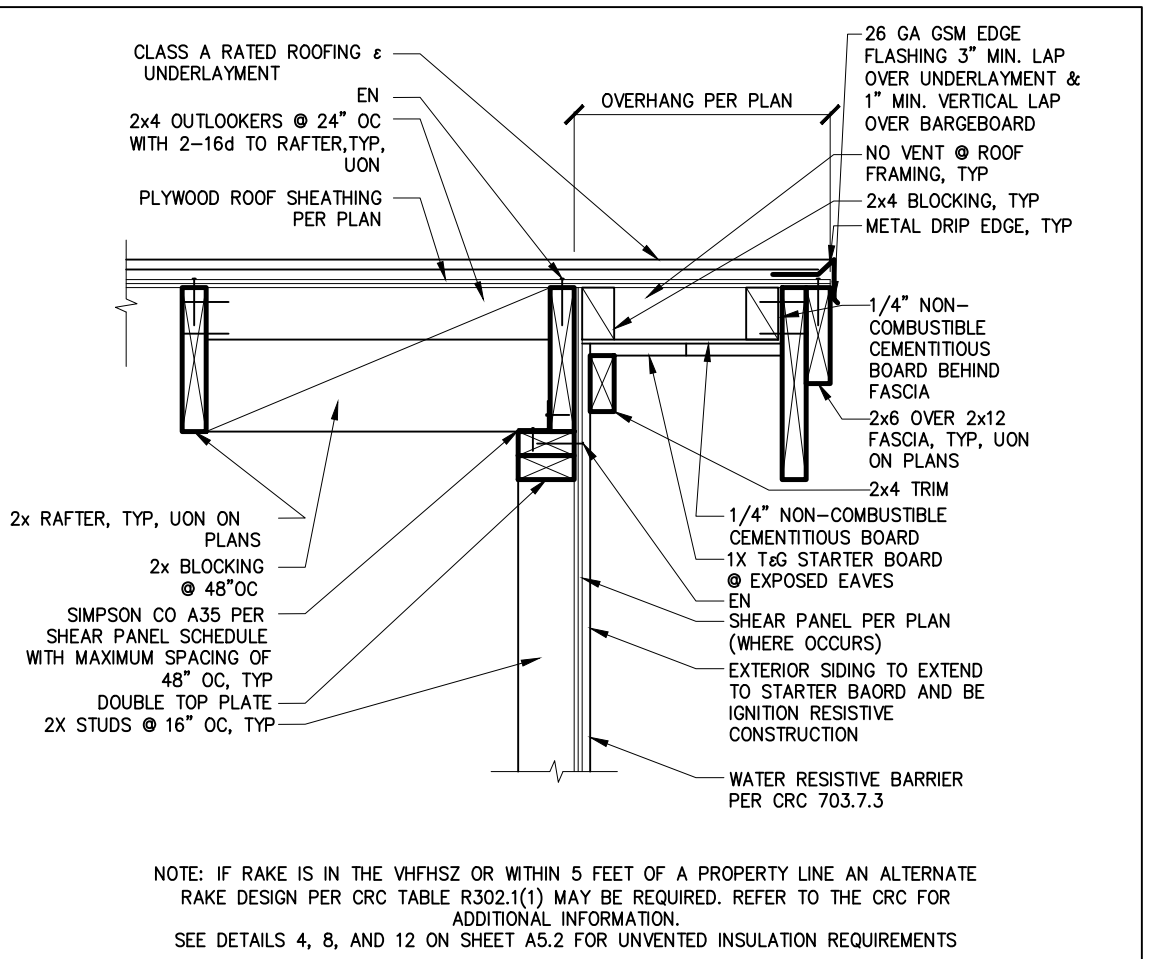
6 IGNITION RESISTIVE RAFTER EAVE HEAVY TIMBER  
SCALE: 1"=1'-0"



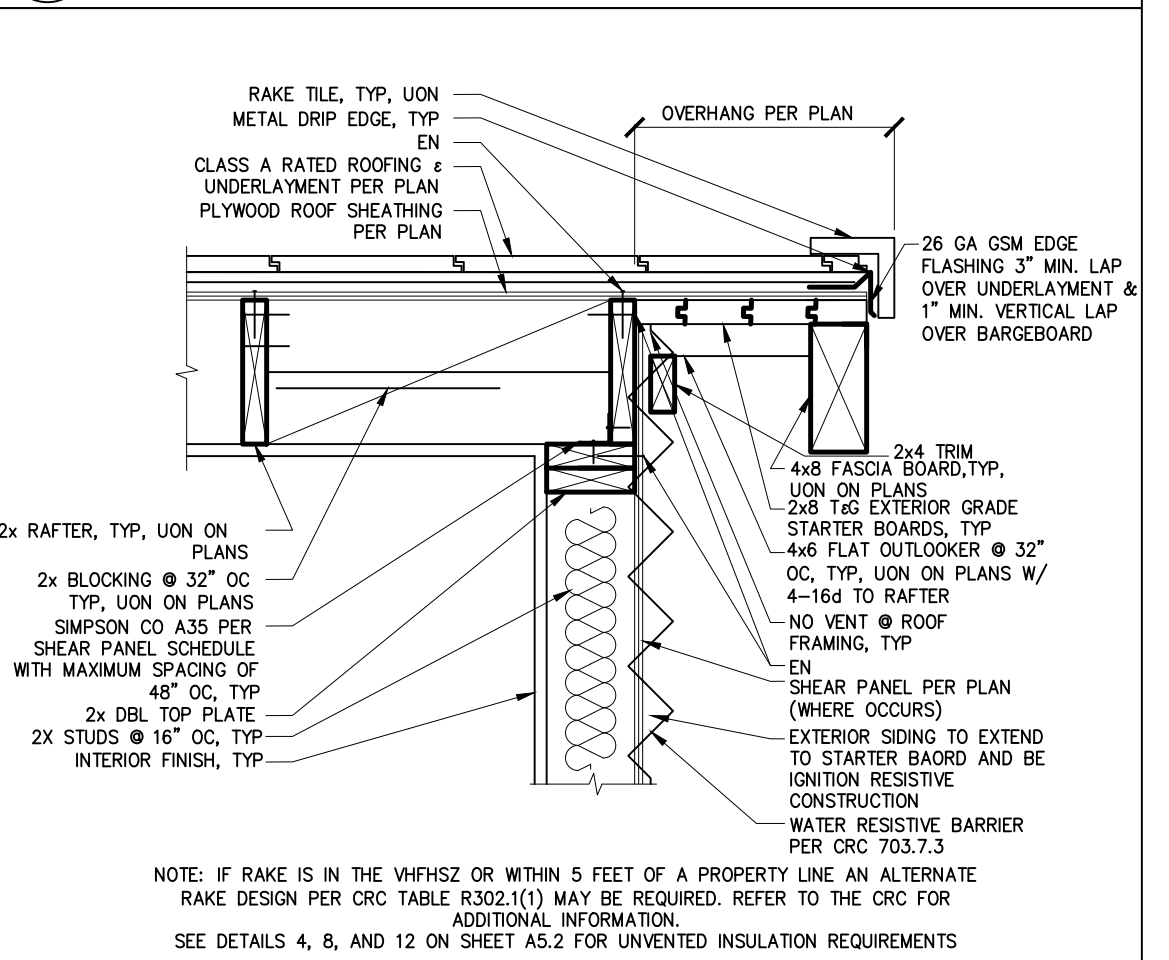
7 IGNITION RESISTIVE RAFTER EAVE WITH 2x FASCIA  
SCALE: 1"=1'-0"



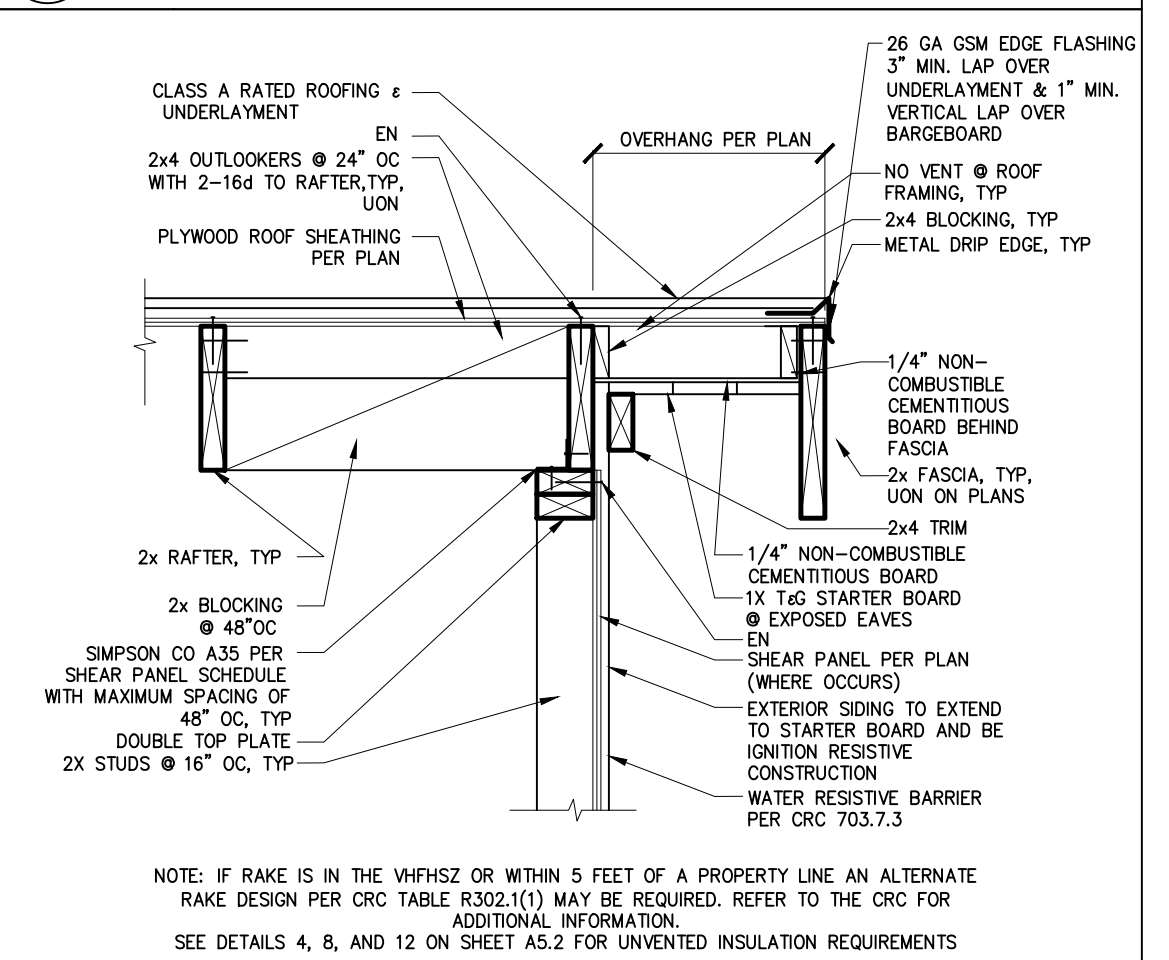
8 INSULATION @ UNVENTED ROOF ASSEMBLY BOTH TYPES  
SCALE: 1"=1'-0"



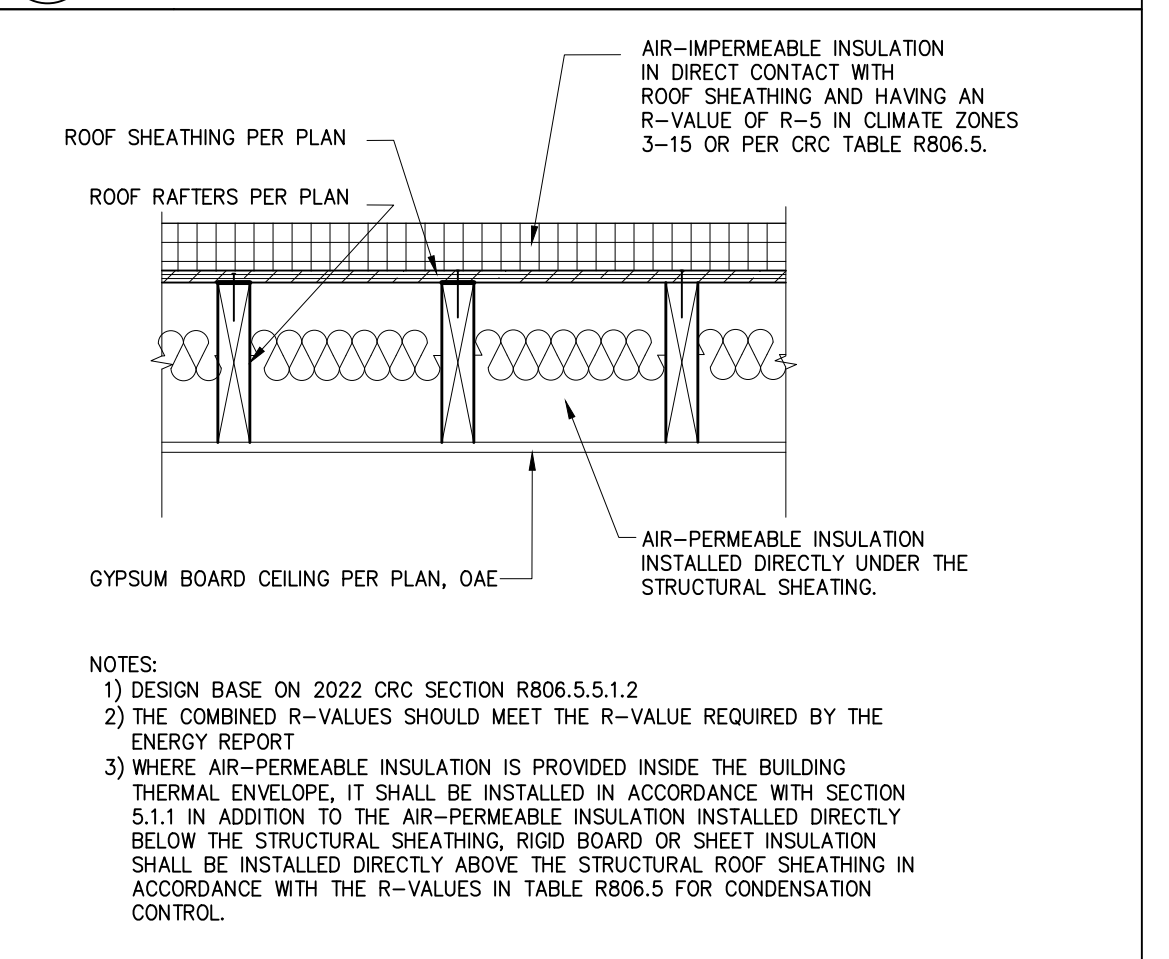
1 IGNITION RESISTIVE GABLE WITH 2x6 & 2x12 FASCIA  
SCALE: 1"=1'-0"



2 IGNITION RESISTIVE GABLE HEAVY TIMBER  
SCALE: 1"=1'-0"



3 IGNITION RESISTIVE GABLE WITH 2x FASCIA  
SCALE: 1"=1'-0"



4 INSULATION AT UNVENTED ROOF ASSEMBLY - OVER/UNDER  
SCALE: 1"=1'-0"

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