

CONTACT LOCAL UTILITY COMPANIES REGARDING GAS AND ELECTRIC SERVICES TO THIS DETACHED ADU. SEE EXAMPLE SITE PLAN, SHEET AS.2, FOR MORE INFORMATION

APPLICANT AGREES TO PROVIDE ALL NECESSARY INFORMATION REQUIRED TO COMPLETE THESE CONSTRUCTION DOCUMENTS, MODIFICATIONS TO THE PERMIT READY DOCUMENTS PROVIDED BY THE DESIGN PATH STUDIO ARE TO BE DISCLOSED BY THE APPLICANT AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. ANY MODIFICATIONS TO THESE CONSTRUCTION DOCUMENTS SHALL BE IN WRITING AND BE SIGNED BY THE APPLICANT AND THE DESIGN PATH STUDIO. ANY ADDITIONAL SHEETS INCORPORATED INTO THESE DOCUMENTS ALSO REQUIRES A SIGNATURE BY THE PERSON AUTHORIZED TO SIGN FOR THE APPLICANT. THESE CONSTRUCTION DOCUMENTS ASSUMES STANDARD SOILS CONDITIONS AND LEVEL TOPOGRAPHY. IF SITE SPECIFIC CONDITIONS REQUIRE A FOUNDATION DESIGN BEYOND WHAT IS PROVIDED IN THESE DOCUMENTS, THEN THE APPLICANT SHALL PROVIDE A FOUNDATION DESIGN WHICH COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER'S REPORT.

BY SIGNING BELOW THE APPLICANT AGREES TO AND AFFIRMS ALL STATEMENTS INCLUDED HEREIN AND WILL COMPLY WITH ALL LOCAL CODE REQUIREMENTS.

SIGNATURE: _____ DATE: _____

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project

City of Moreno
Valley Permitted
ADU Plan Set

revisions



description

Title Sheet

date

project no. 2024_Moreno ADU

drawn by

sheet no.

T1.1

DESIGN PATH STUDIO
architecture + engineering + planning
P.O. BOX 230165 ENCINITAS, CA 92023 --- 619.292.8807
DESIGNPATHSTUDIO.COM

STAMPED SET FOR CITY FILE USE ONLY- NOT TO BE DISTRIBUTED TO THE PUBLIC

T1	TITLE SHEET
A1	EXISTING ELEVATIONS
AS1	SECTION INFORMATION
G01	GENERAL MANDATORY FEATURES (2022 CALGREEN)
G02	GENERAL NOTES
G03	GENERAL NOTES
G04	SCHEDULE
A11	FLOOR PLAN/ROOF PLAN CRAFTSMAN BASE
A12	FLOOR PLAN/ROOF PLAN SPANISH COMPONENT
A13	FLOOR PLAN/ROOF PLAN SPANISH BASE
A14	FLOOR PLAN/ROOF PLAN SPANISH TOWER COMPONENT
A15	MECHANICAL/PLUMBING/SPRINKLER PLANS
A21	EXTERIOR ELEVATIONS CRAFTSMAN COMPONENT
A22	EXTERIOR ELEVATIONS CRAFTSMAN BASE
A23	EXTERIOR ELEVATIONS SPANISH COMPONENT
A24	EXTERIOR ELEVATIONS SPANISH TOWER COMPONENT
A25	EXTERIOR ELEVATIONS SPANISH TOWER COMPONENT
A31	BUILDING SECTIONS CRAFTSMAN COMPONENT
A32	BUILDING SECTIONS CRAFTSMAN BASE
A33	BUILDING SECTIONS SPANISH COMPONENT
A34	BUILDING SECTIONS SPANISH TOWER COMPONENT
A35	BUILDING SECTIONS SPANISH TOWER COMPONENT
AS1.1	SECTION INFORMATION
AS2	SECTION INFORMATION
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S2	ARCHITECTURAL ROOF DETAILS
S3	FOUNDATION PLANS BASE
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S5	FRAMING PLANS BASE
S3.1	FRAMING PLANS COMPONENT
S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS
T24.1	ENERGY CALC
T24.2	ENERGY CALC
T24.3	ENERGY CALC

GOVERNING CODES: APPROVAL OF THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CITY OF MORENO VALLEY MUNICIPAL CODE.

SITE ADDRESS:

GOVERNING AGENCY: CITY OF MORENO VALLEY, CA
OCCUPANCY GROUP: R3
STORIES: 1
TYPE OF CONSTRUCTION: VB

CONTACT CITY OF MORENO VALLEY FOR THE INFORMATION BELONGING TO:
building@moval.org PHONE: (951)413-3360

ZONING :
OVERLAY :
LOT SIZE :
EXISTING HABITABLE SQ. FT. :
EXISTING FAR :
MAX. ALLOWABLE FAR :
PROPOSED FAR :
FLOOR AREA OF GARAGE :
EXISTING LOT COVERAGE :
ALLOWABLE LOT COVERAGE :
PROPOSED LOT COVERAGE :

SITE PLAN & TITLE SHEET INFORMATION PREPARED BY:

COMPANY
CONTACT
ADDRESS

PHONE:
EMAIL

PROPERTY OWNER: _____

NAME
ADDRESS

PHONE:
EMAIL

BUILDING DEPARTMENT: _____

CITY OF MORENO VALLEY BUILDING & SAFETY DEPARTMENT
14177 FREDERICK STREET
MORENO VALLEY, CA 92553
(951) 781-3480

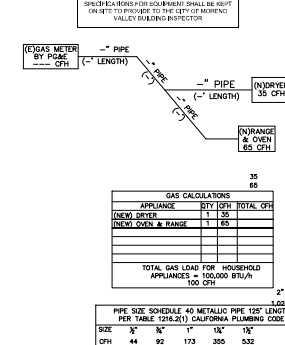
PROVIDED BY OWNER

NEW CONSTRUCTION OF A ONE STORY 2 BEDROOM 2 BATH,
DETACHED 910 S.F. ACCESSORY DWELLING UNIT WITH PORCH AREAS AT
USED BELOW:

--	--

TO BE UPDATED FOR SITE SPECIFIC CONDITIONS

NOTE: EXISTING GAS SERVICE AND METER SIZE TO BE PROVIDED BY HOMEOWNER AND UPDATED ISOMETRIC LAYOUT PROVIDED BY DESIGNER OF CHOICE. CFH & BTU'S PROVIDED AS SUGGESTED LOADS. OWNER/DESIGNER IS TO PROVIDE ACCURATE INFORMATION



Total Lot Size = _____
(Existing building footprint, patios, decks, hardscape, etc.)

Total Area of Existing Impervious Surfaces = _____
(Existing building footprint, patios, decks, hardscape, etc.)

Total Area of New Impervious Surfaces = _____
(Increase to building footprint, patios, decks, hardscape, etc.)

Total Area of Replaced Impervious Surfaces = _____
(Replacement to building footprint, patios, decks, hardscape, etc.)

X COMPLETED	
<input type="checkbox"/>	TITLE SHEET (T1.1) INFORMATION FILLED OUT
<input type="checkbox"/>	SEE PLAN SHEET (AS.2) PROVIDED IN PLAN SET FOR CITY REVIEW
<input type="checkbox"/>	LEADERS TITLE 26 ENERGY CALCULATION REPORT WITH CORRECT NAME, ADDRESS, AND CONTACT INFORMATION FOR SITE SPECIFIC CONDITIONS. OWNER MAY CONTACT THE ENTITY WHO PREPARED THE ORIGINAL REPORT (SHOWN ON T2.1) TO OBTAIN UPDATES TO THE REPORT.
<input type="checkbox"/>	CONSTRUCTION AND DEMOLITION FORM
<input type="checkbox"/>	HOLD HARMLESS AGREEMENT

X SELECTION	
<input type="checkbox"/>	CRAFTSMAN BASE
<input type="checkbox"/>	CRAFTSMAN COMPONENT
<input type="checkbox"/>	SPANISH BASE
<input type="checkbox"/>	SPANISH COMPONENT

X SELECTION	
<input type="checkbox"/>	UPGRADED SERVICE
<input type="checkbox"/>	EXISTING SERVICE TO REMAIN
<input type="checkbox"/>	NEW SERVICE

SIZE OF EXISTING SERVICE _____ SIZE OF NEW SERVICE _____

X SELECTION(S)

EXTERIOR WALL COLOR OF PRINCIPAL DWELLING UNIT
(EXTERIOR WALL COLOR OF ADU IS TO MATCH PRINCIPAL DWELLING UNIT)

☐ STUCCO / COLOR _____

☐ STONE VENEER / COLOR _____

☐ FIBER CEMENT - SIDING / COLOR _____

☐ WOOD SIDING / COLOR _____

☐ OTHER _____

X SELECTION: ROOFING MATERIAL MUST MEET CLASS A

ROOF COLOR OF PRINCIPAL DWELLING UNIT
(ROOF COLOR OF ADU TO MATCH PRINCIPAL DWELLING UNIT)

TRIM COLOR OF PRINCIPAL DWELLING
(TRIM COLOR OF ADU TO MATCH PRINCIPAL DWELLING UNIT TRIM)

☐ CONCRETE TILE ROOF - EAGLE ROOF PRODUCTS INC. - JAMPO UESER 1900
MINIMUM 2:12 ROOF SLOPE.
COLOR OF CONCRETE TILE ROOF:

☐ ARCHITECTURAL GRADE SHINGLE - CERTANTEED - ICC-ES ESR-957
MINIMUM 2:12 ROOF SLOPE.
COLOR OF ARCHITECTURAL GRADE SHINGLES:

X SELECTION	
<input type="checkbox"/>	UPGRADED SERVICE
<input type="checkbox"/>	EXISTING SERVICE TO REMAIN
<input type="checkbox"/>	NEW SERVICE

SIZE OF EXISTING SERVICE _____ SIZE OF NEW SERVICE _____

X TO BE COMPLETED	
<input type="checkbox"/>	FIRE SPRINKLERS (WHEN REQUIRED)
<input type="checkbox"/>	TRUSS CALCULATIONS (WHEN REQUIRED)
<input type="checkbox"/>	PHOTOVOLTAIC SYSTEM - THE PV SYSTEM MUST BE INSTALLED, OPERATIONAL, AND FINAL PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL FOR THE ADU. (WHEN REQUIRED) IF THERE IS AN EXISTING PHOTOVOLTAIC SYSTEM OF SUFFICIENT SIZE ON THE MAIN HOUSE TO ACCOMMODATE THE NEW ADU THEN HOMEOWNER IS TO PROVIDE A REPORT STATING THE

X SELECTION	
<input type="checkbox"/>	ROOF FRAMING PER PLAN
<input type="checkbox"/>	ROOF TRUSSES - IN LIEU OF ROOF DETAILS PROVIDED ON THESE PLANS, HOMEOWNER IS TO CONTRACT WITH AN INDEPENDENT TRUSS COMPANY* AND SUBMIT TRUSS CALCULATIONS TO THE CITY OF MORENO VALLEY FOR APPROVAL. INDICATE ON DEFERRED SUBMITTAL CHECKLIST ABOVE IF TRUSS PACKAGE WILL BE PROVIDED AS A DEFERRED SUBMITTAL

X	SELECTION
<input type="checkbox"/>	<p>ROOF RAVE DETAIL 1,2,3,5,6,7&8-2</p> <p>WALL FINISH DETAIL 9&10,15B&16,15</p> <p>FIRE RATED DETAILS ABOVE ARE TO BE USED WHEN THE PROPERTY IS LOCATED IN THE VERY HIGH FIRE SEVERITY ZONE (VHFSZ) OR WHEN WALLS AND ROOF RAVE ARE LESS THAN 5 FT FROM PROPERTY LINE IN AN UNSPRINKLERED BUILDING OR LESS THAN 3 FT FROM PROPERTY LINE IN SPRINKLERED BUILDING PER TABLE R302.117 & R302.122.</p> <p>FIRE RATED DETAILS ABOVE ARE ALSO TO BE USED WHEN THE AUE IS LESS THAN 10 FT FROM THE MAIN DWELLING UNIT IN AN UNSPRINKLERED BUILDING OR LESS THAN 6 FT FROM THE MAIN DWELLING UNIT IN A SPRINKLERED BUILDING.</p>

X SELECTION

☐ PROPERTY IS IN A FLOOD ZONE

IF IN A FLOOD ZONE, WORKING WITH A PLANS EXAMINER TO DETERMINE THE REQUIRED BASE FLOOD AND DESIGN FLOOD ELEVATION IS REQUIRED PRIOR TO PERMIT APPROVAL.

X SELECTION	
<input type="checkbox"/>	ADU TO HAVE NEW CONNECTION TO CITY SEWER MAIN
<input type="checkbox"/>	ADU TO CONNECT TO EXISTING RESIDENCE SEWER LATERAL. IF EXISTING HOUSE HAS TWO OR MORE TOILETS WITH AN EXISTING 3 INCH SEWER DRAIN, A SEPARATE CONNECTION TO THE CITY SEWER MAIN IS REQUIRED. FOR THE NEW ADU, REFER TO CURRENT CPC SECTION 703.2 FOR PIPE SIZING REQUIREMENTS
<input type="checkbox"/>	SEPTIC - *REQUIRES HEALTH DEPARTMENT APPROVAL
DISTANCE TO CONNECTION:	

X SELECTION	
<input type="checkbox"/>	EXISTING RESIDENCE CURRENTLY HAS FIRE SPRINKLERS
<input type="checkbox"/>	EXISTING RESIDENCE <u>DOES NOT</u> CURRENTLY HAVE FIRE SPRINKLERS
<input type="checkbox"/>	PROPERTY IS LOCATED IN THE VERY HIGH/FIRE HAZARD SEVERITY ZONE
<input type="checkbox"/>	PROPERTY <u>IS NOT</u> LOCATED IN THE VERY HIGH/FIRE HAZARD SEVERITY ZONE (VHSF2)
NEW ADU IS REQUIRED TO HAVE FIRE SPRINKLERS IF THE EXISTING RESIDENCE HAS FIRE SPRINKLERS OR IS LOCATED IN VHSF2. SEE NOTES ON G02 AND FIRE RATED DETAIL	

X SELECTION

WINDOW COLOR OF PRINCIPAL DWELLING UNIT
(WINDOW COLOR SELECTION BELOW FOR THE ADU IS TO MATCH PRINCIPAL DWELLING UNIT WINDOW COLOR)

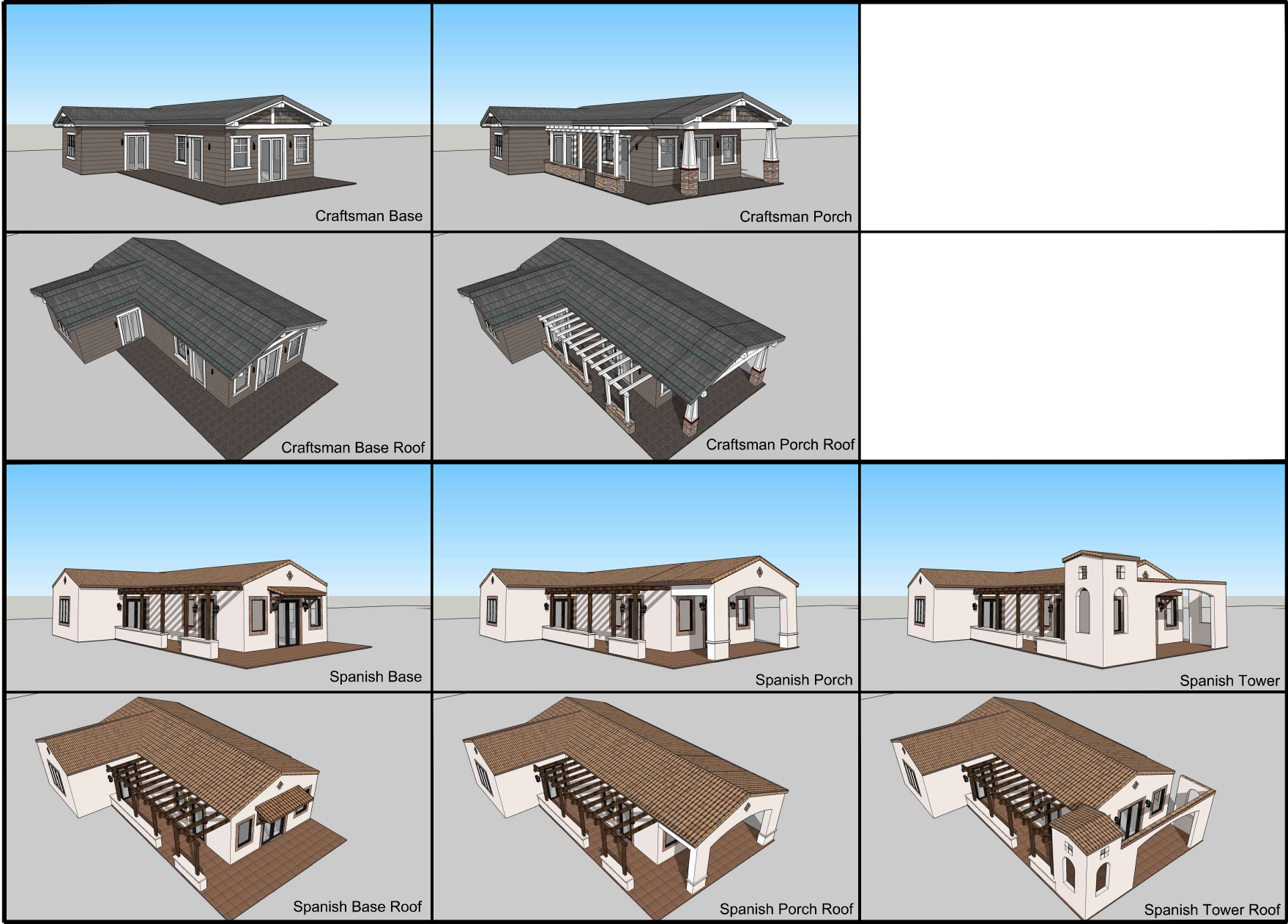
☐ WHITE

☐ TAN

☐ DARK BRONZE

☐ OTHER WINDOW COLOR

WINDOW TRIM COLOR OF PRINCIPAL DWELLING UNIT _____
(WINDOW TRIM COLOR FOR THE ADU IS TO MATCH PRINCIPAL DWELLING UNIT WINDOW COLOR)



Craftsman Base

Craftsman Porch

Craftsman Base Roof

Craftsman Porch Roof

Spanish Base

Spanish Porch

Spanish Tower

Spanish Base Roof

Spanish Porch Roof

Spanish Tower Roof

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:
1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF MORENO VALLEY. THERE IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF MORENO VALLEY BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PROJECT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELAYED TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REQUIRED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OF DESIGN PATH STUDIO. DESIGN PATH STUDIO, OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. ANY USE, REVELATION, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS PROVIDERS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DAMAGES, AGREEMENTS, OR COSTS ARISING OUT OF OR RESULTING FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THE RECIPIENT DOES NOT APPLY TO THE SOLE RELIANCE OR RELY ON ANY OUTLET OF DESIGN PATH STUDIO OR ITS PROVIDERS.
3. THE DESIGN REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.



project
City of Moreno
Valley Permitted
ADU Plan Set

revisions
△

description

Exterior
Style
Options

date

project no. 2024_Moreno ADU

drawn by

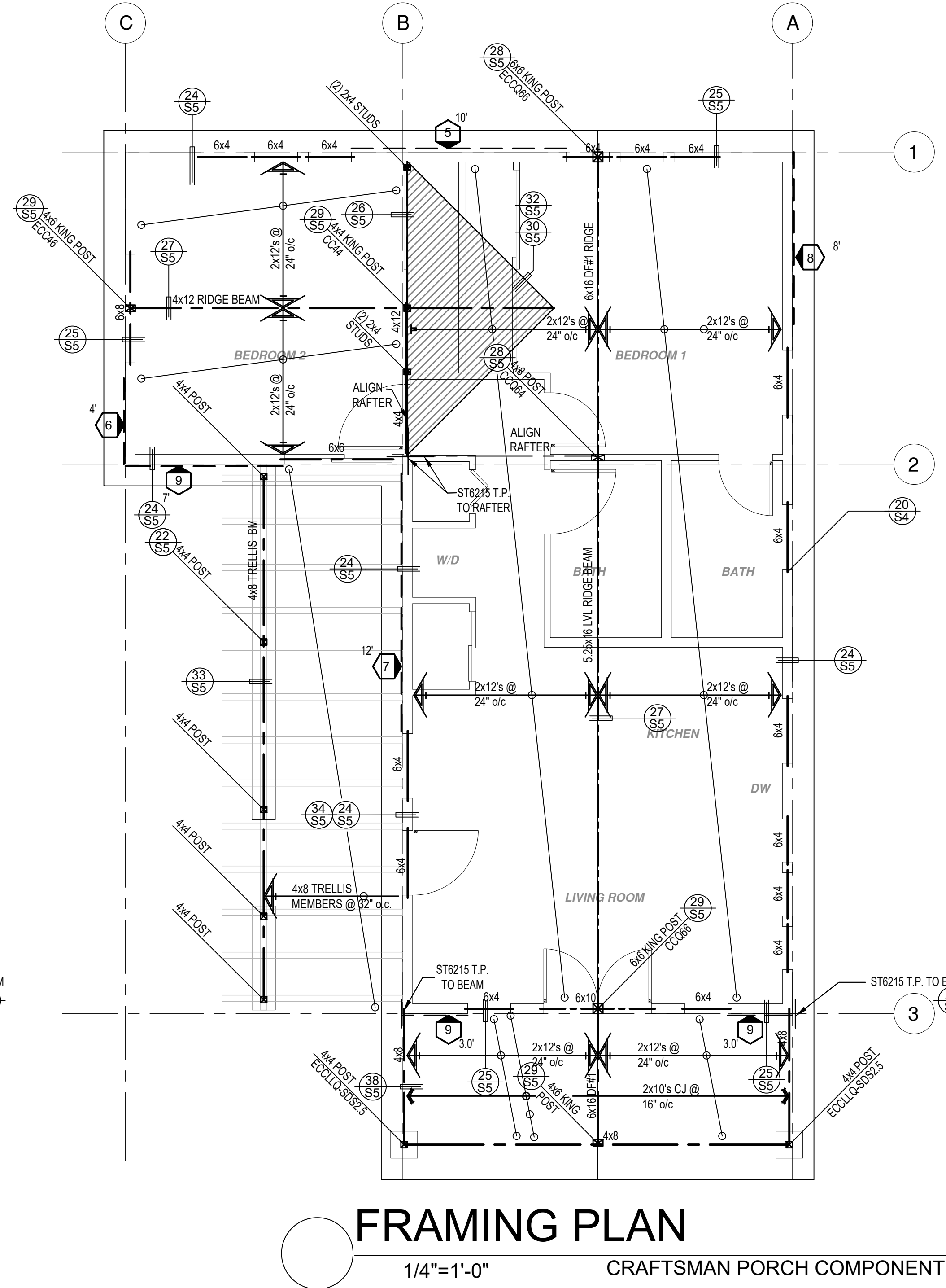
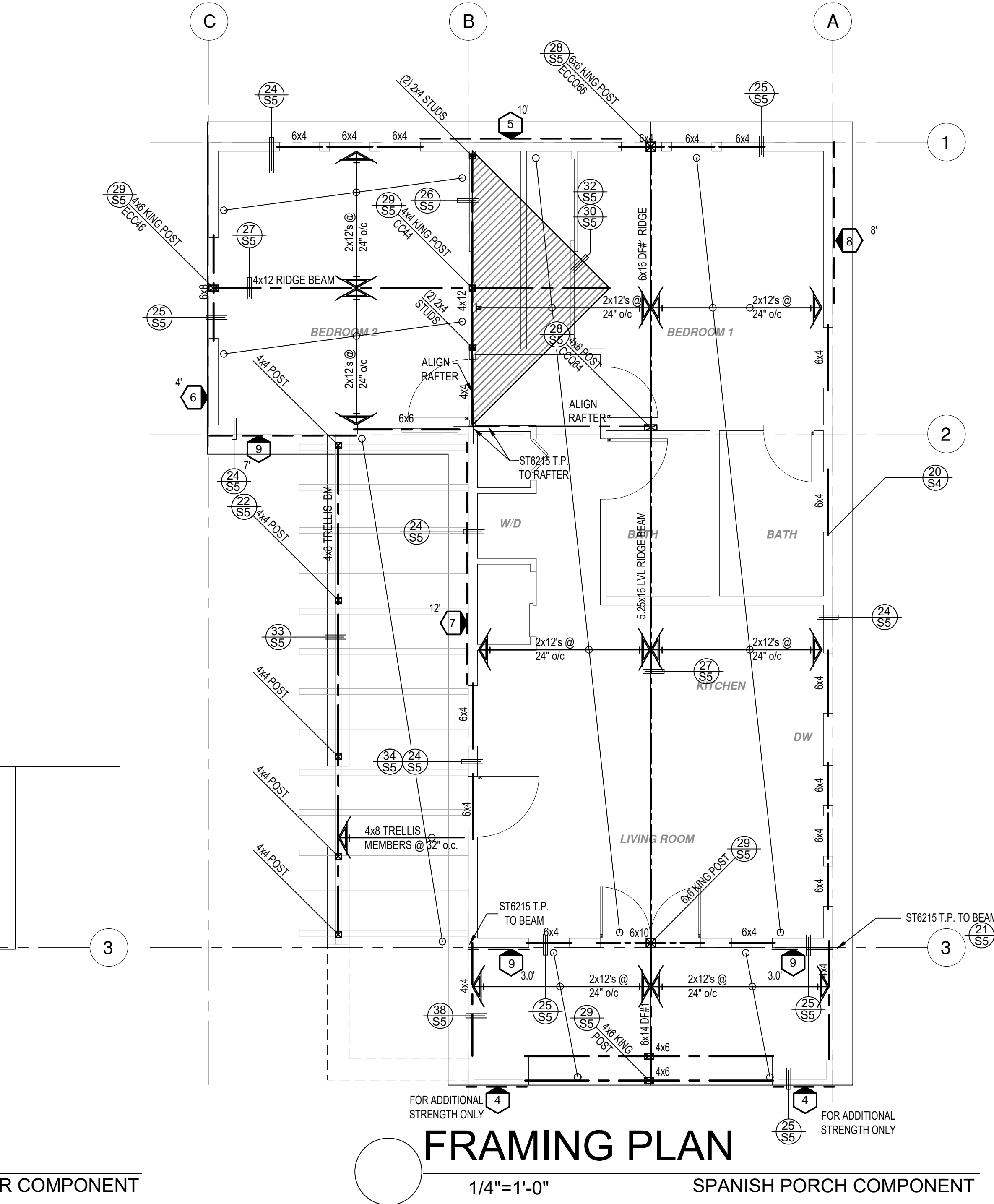
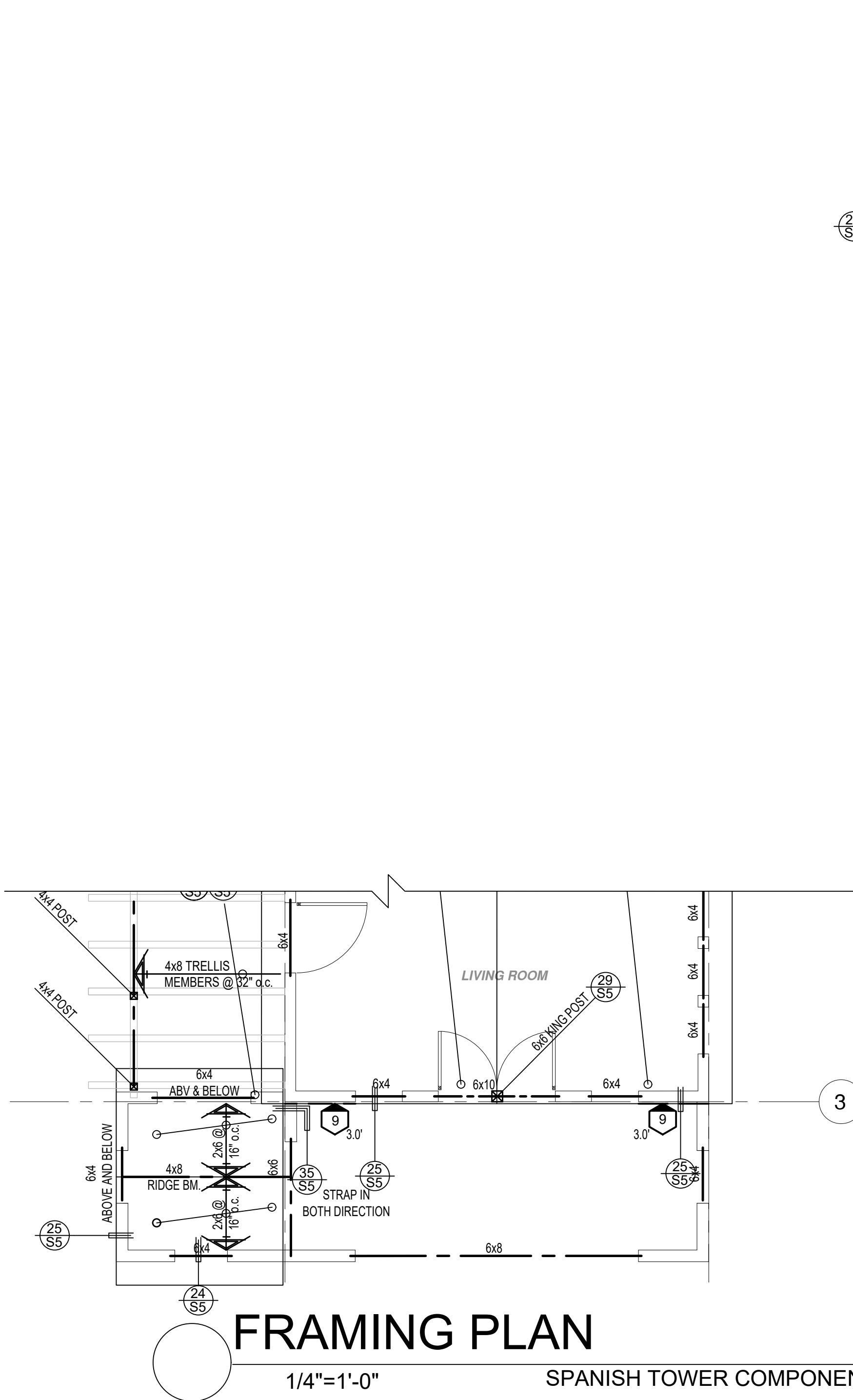
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T1.2

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:
1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF MORENO VALLEY ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF MORENO VALLEY BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.



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SHEAR WALL SCHEDULE (ASD VALUES)

	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/4" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/4" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	1 1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	1 1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260"	350"	490"	550"	665"	870"
ANCHOR BOLT SPACING	5/8" @ 48" or 1/2" @ 32"	5/8" @ 32" or 1/2" @ 24"	5/8" @ 24" or 1/2" @ 16"	5/8" @ 24" or 1/2" @ 16"	5/8" @ 16" or 1/2" @ 24"	5/8" @ 12" or 1/2" @ 8"
16d (0.148") SILL NAILING	6"	4 1/2"	3 1/2"	3"	1/2"x4 1/2" SDS screws @ 8"	1/2"x4 1/2" SDS screws @ 8"
SPACING OF A35/LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

SHEAR WALL FOOTNOTES

- AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEAR SHALL BE APPLIED OVER STUDS @ 16" O.C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209, 307, 308, 309, ETC.)
- IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE 1/2" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE 3/8" MIN. FROM THE EDGE OF SHEATHING.
- WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

LEGEND

- X' SHEARWALL & A.B. SPACING PER SCHEDULE
- BOLT TYPE HOLDOWN
- BEARING OR EXTENT OF RAFTERS
- HANGER TO BEAM/LEDGER
- BEARING OR EXTENT OF JOISTS

* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

project

City of Moreno
Valley Permitted
ADU Plan Set

revisions



description

Plan 2A
Component
Framing
Plan

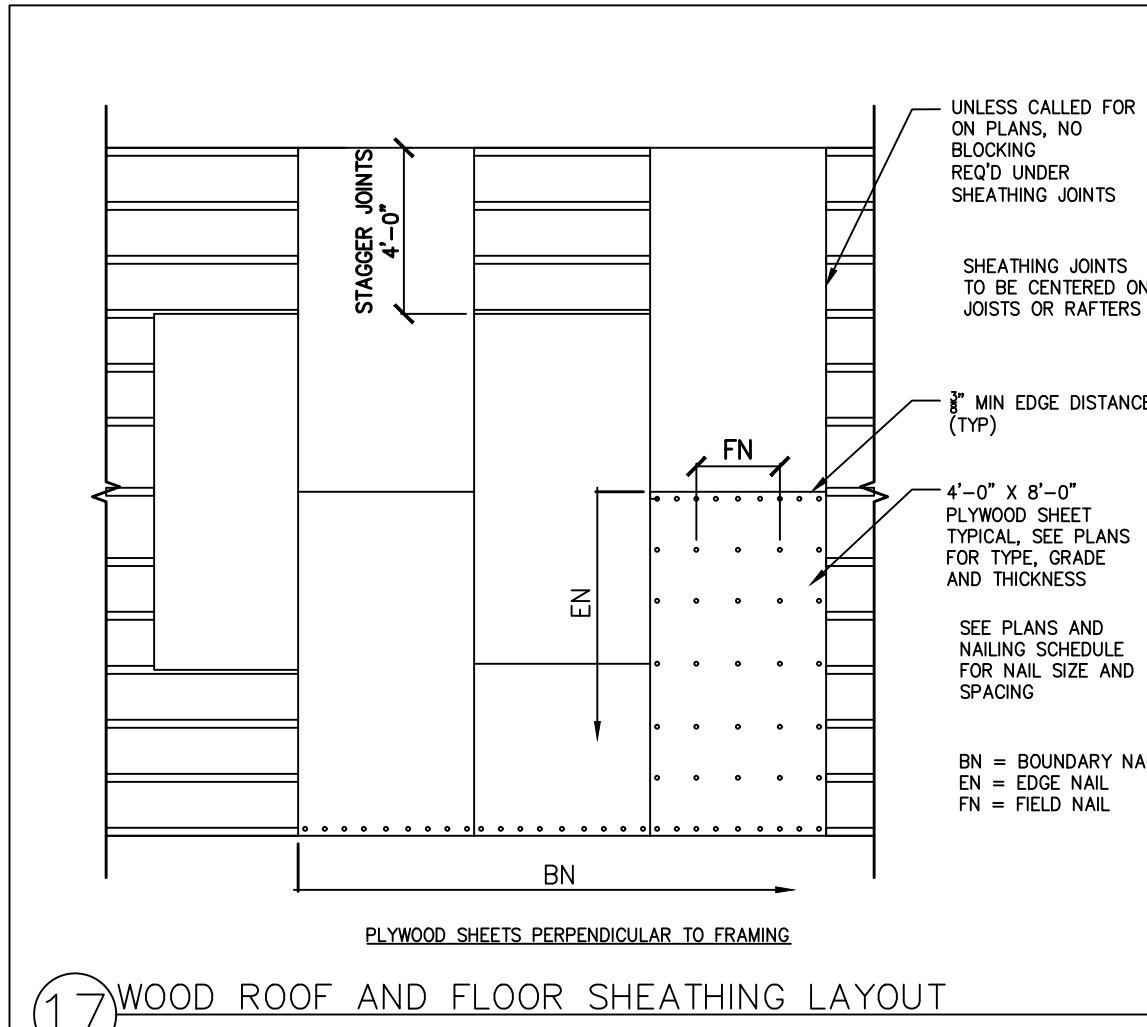
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project no. 2024_Moreno ADU

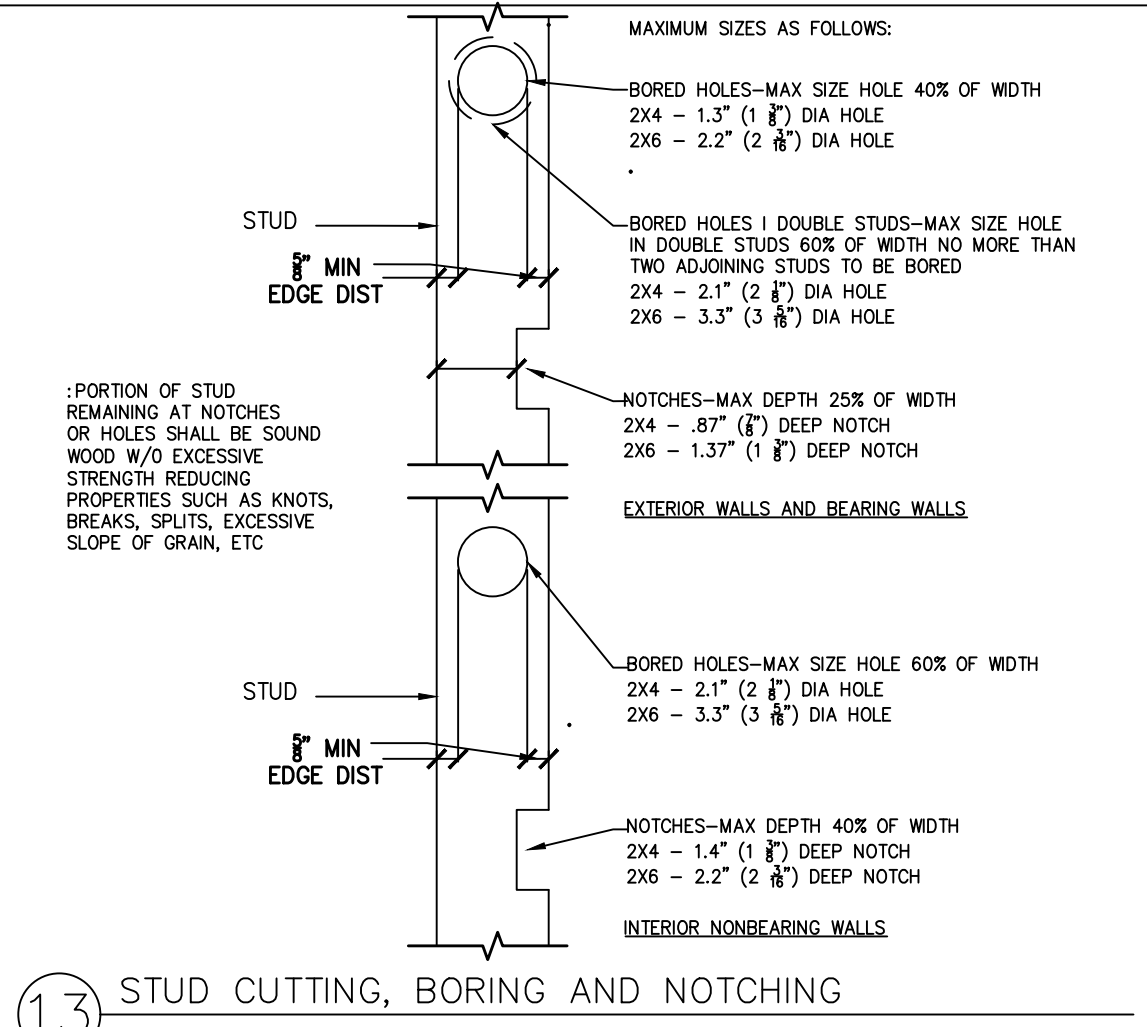
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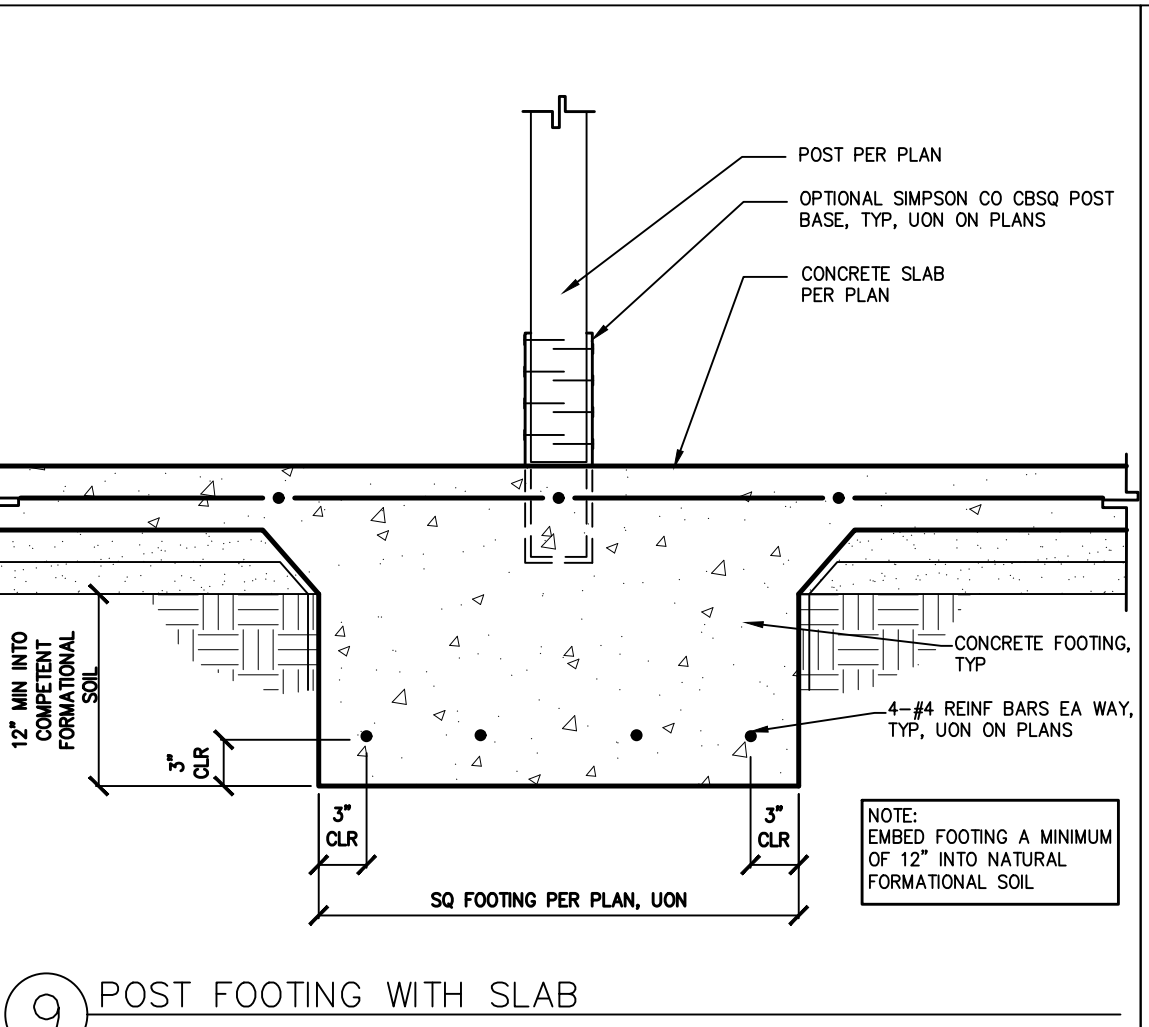
S3.1



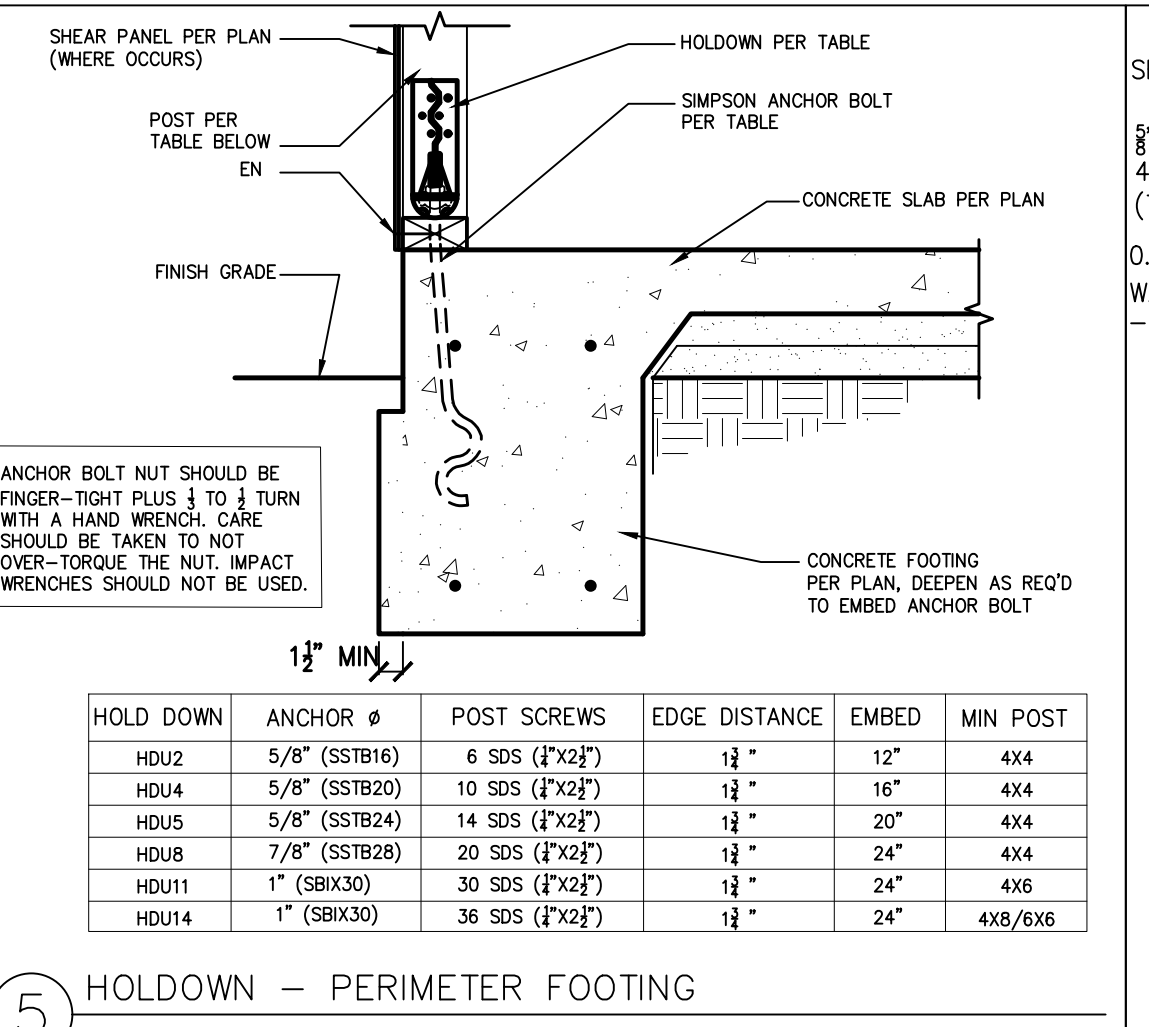
17 WOOD ROOF AND FLOOR SHEATHING LAYOUT



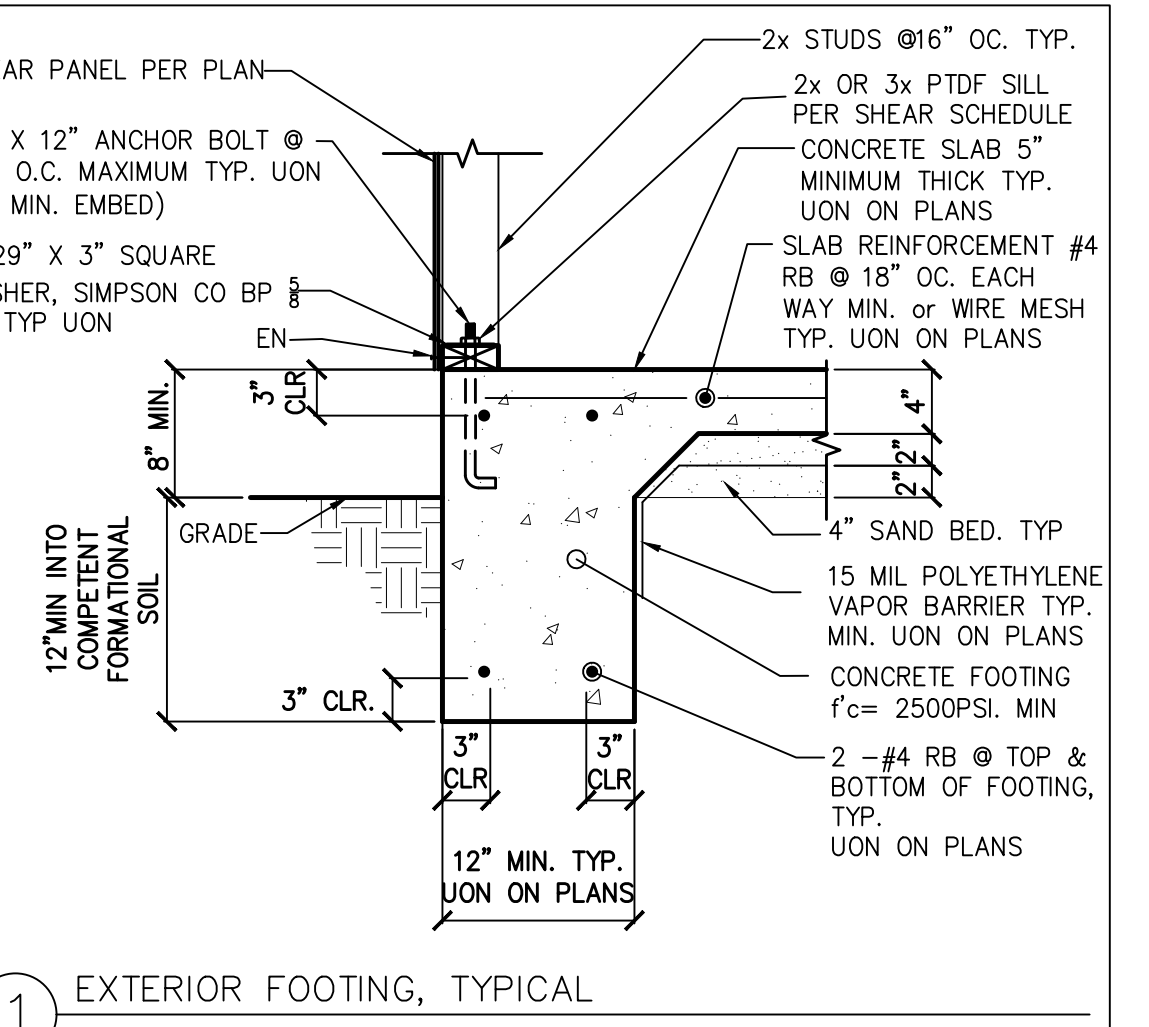
13 STUD CUTTING, BORING AND NOTCHING



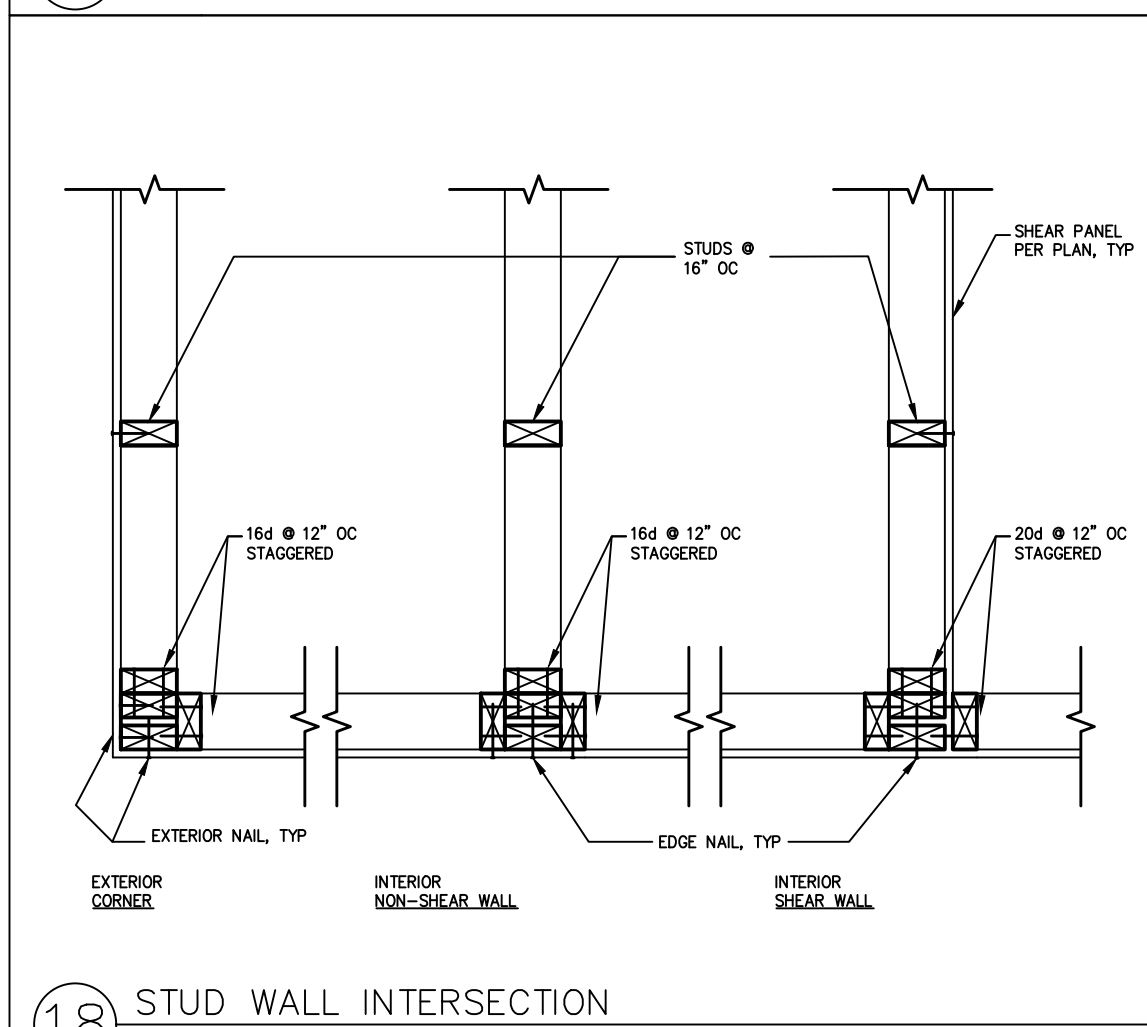
9 POST FOOTING WITH SLAB



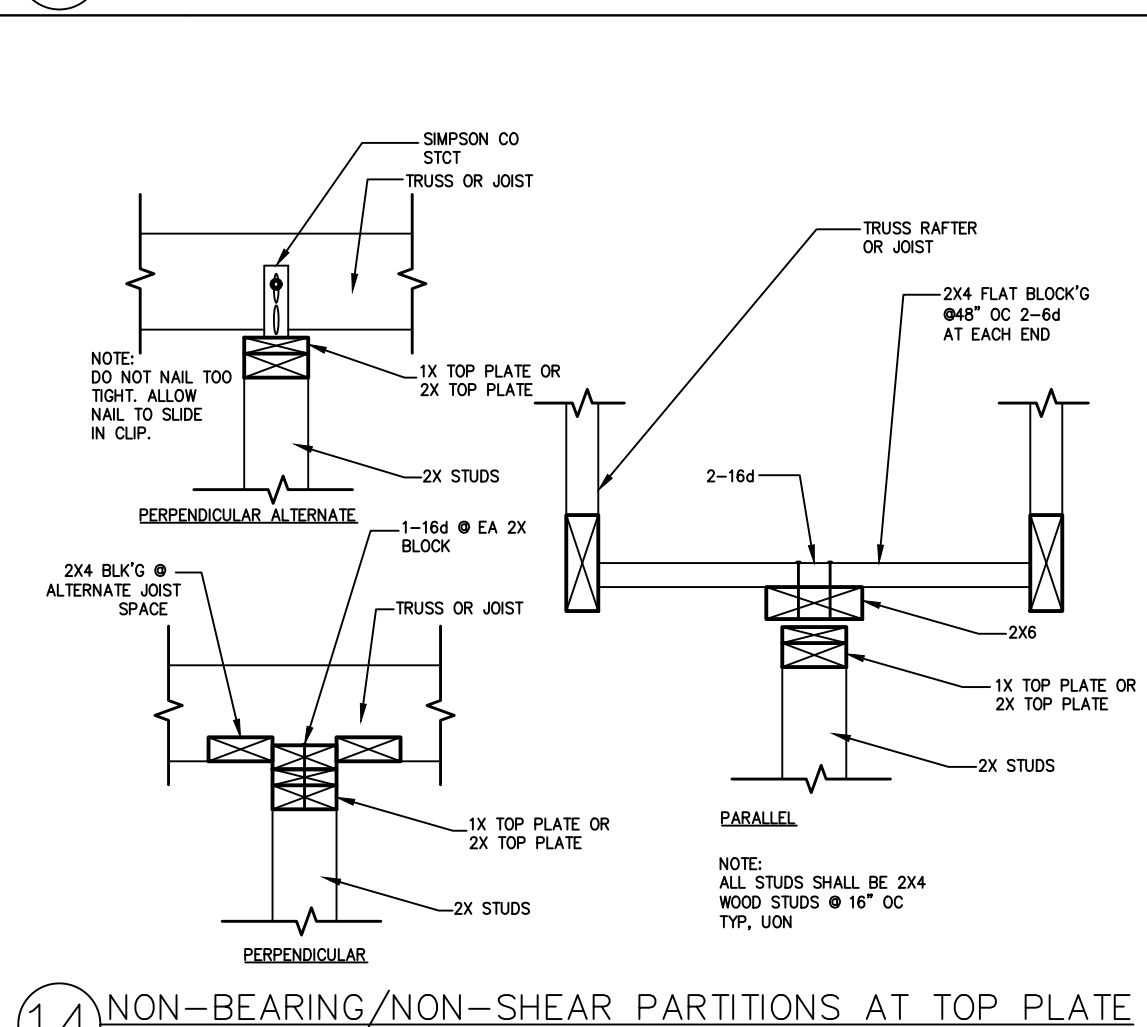
5 HOLDOWN - PERIMETER FOOTING



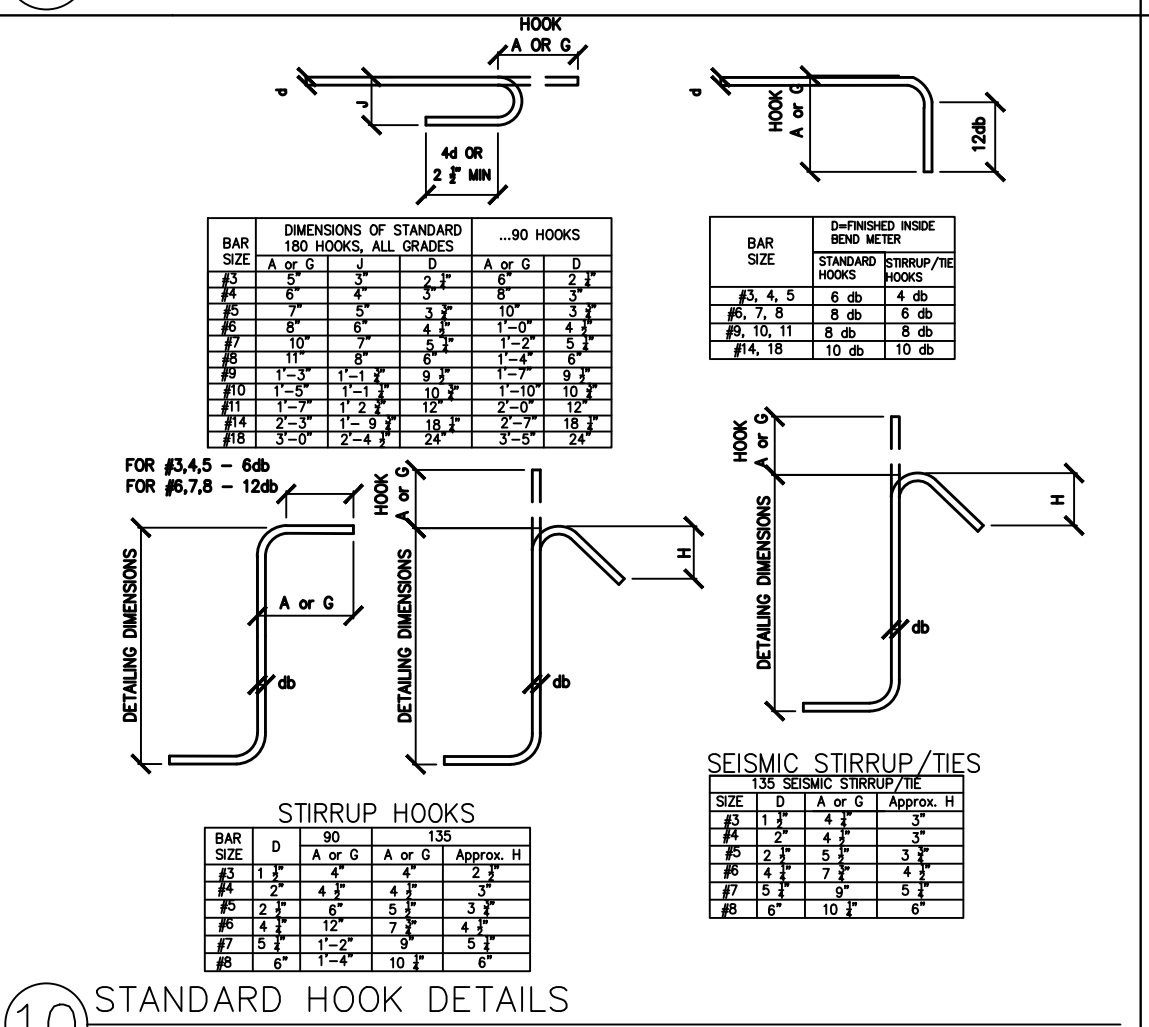
1 EXTERIOR FOOTING, TYPICAL



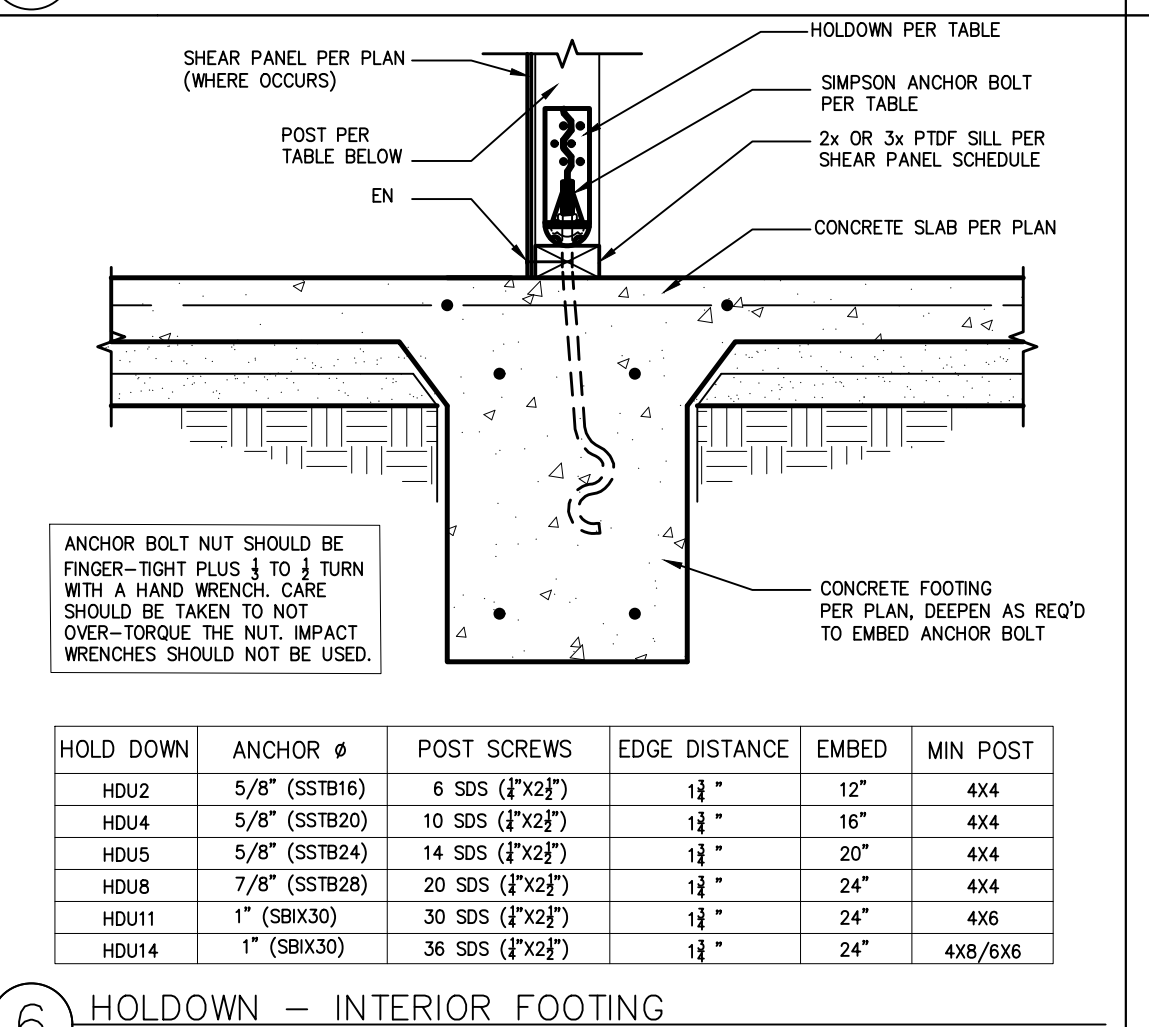
18 STUD WALL INTERSECTION



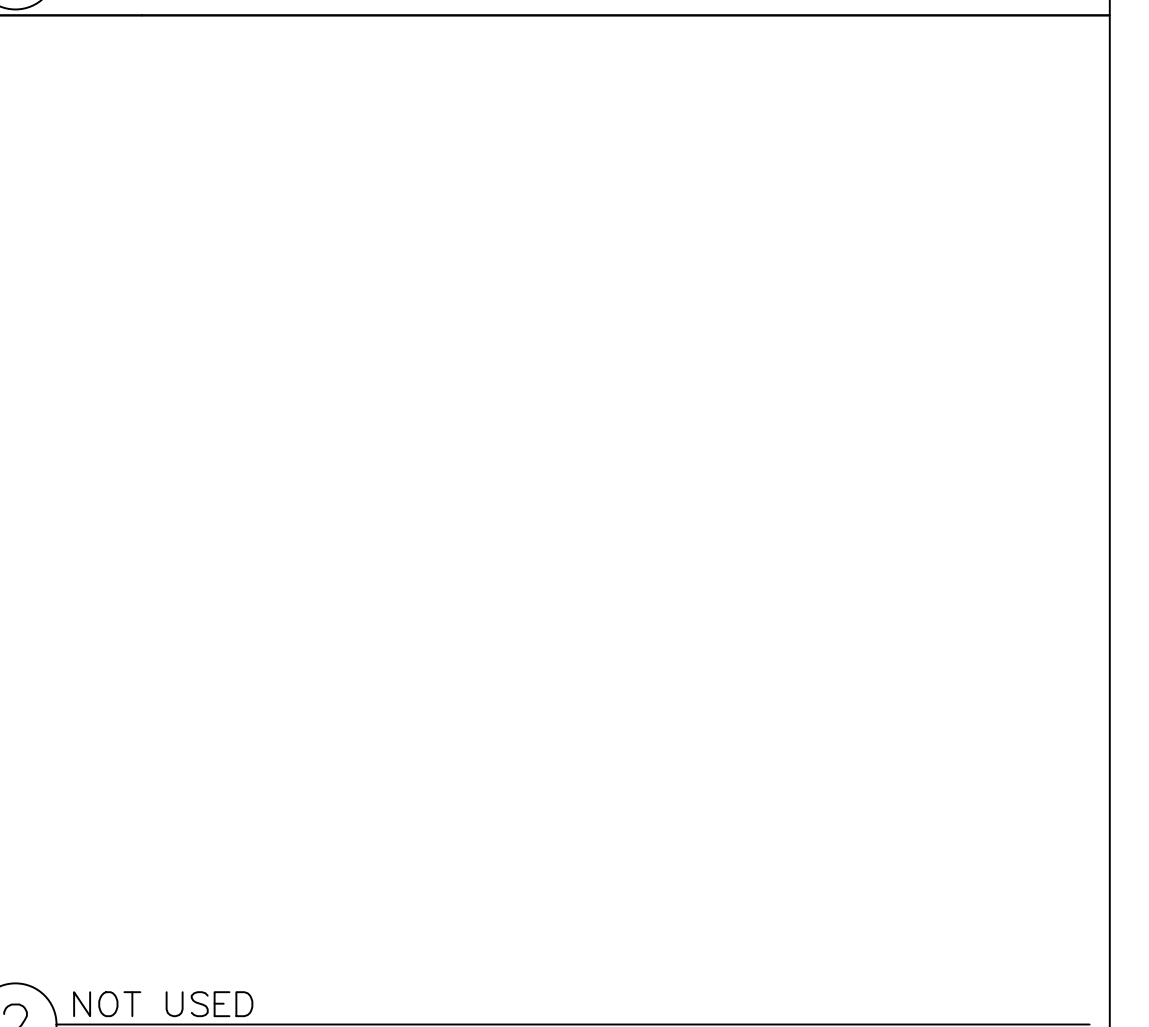
14 NON-BEARING/NON-SHEAR PARTITIONS AT TOP PLATE



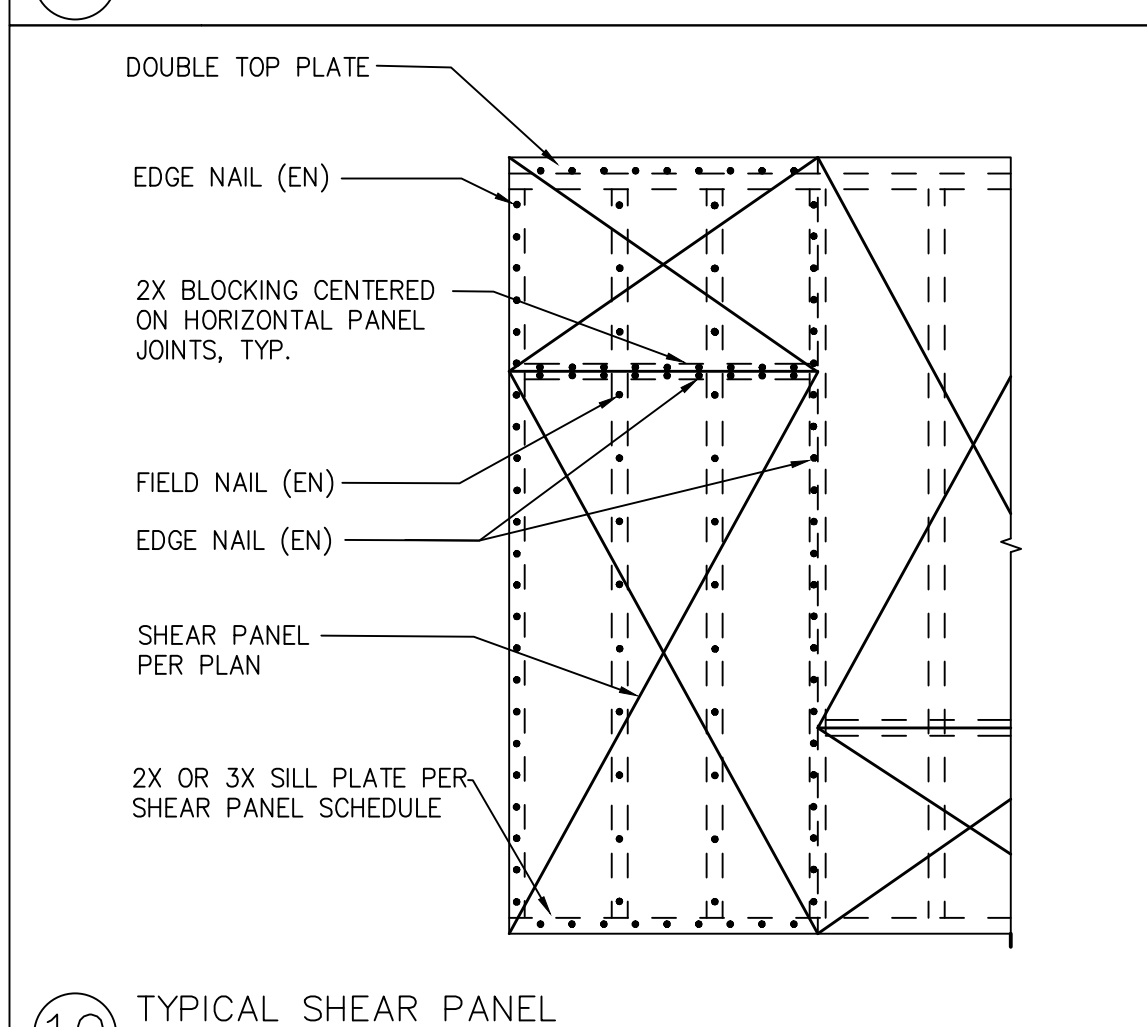
10 STANDARD HOOK DETAILS



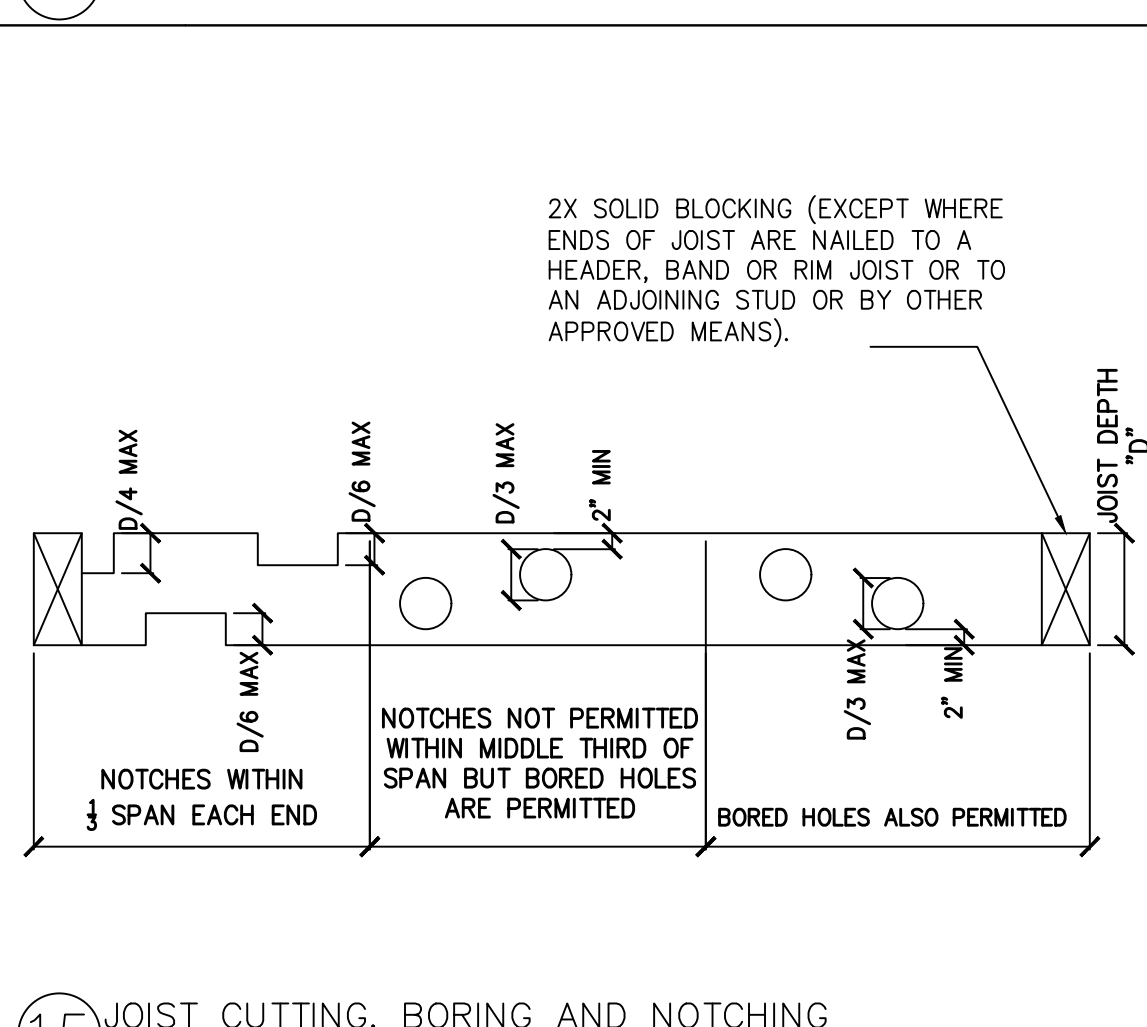
6 HOLDOWN - INTERIOR FOOTING



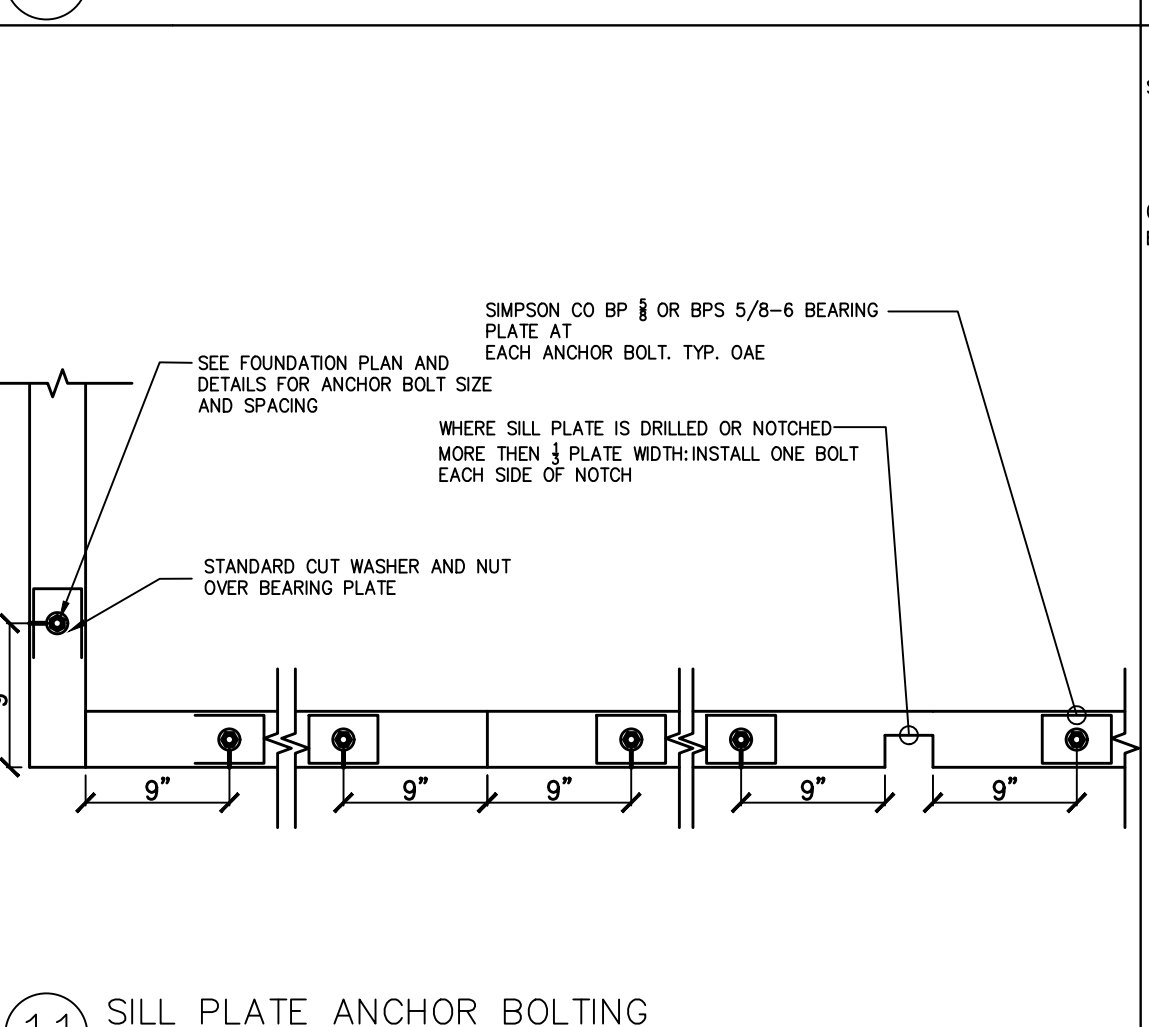
2 NOT USED



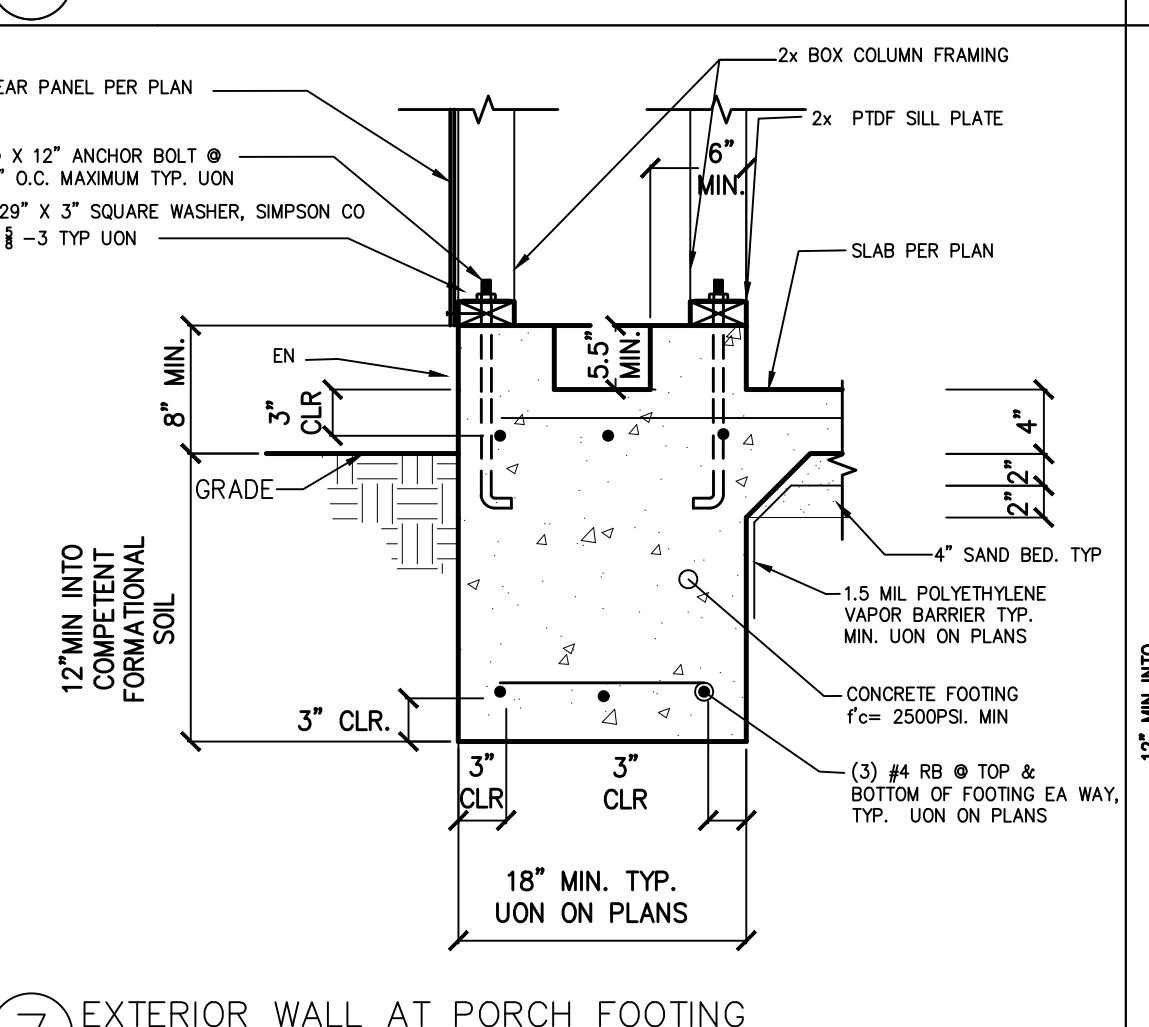
19 TYPICAL SHEAR PANEL



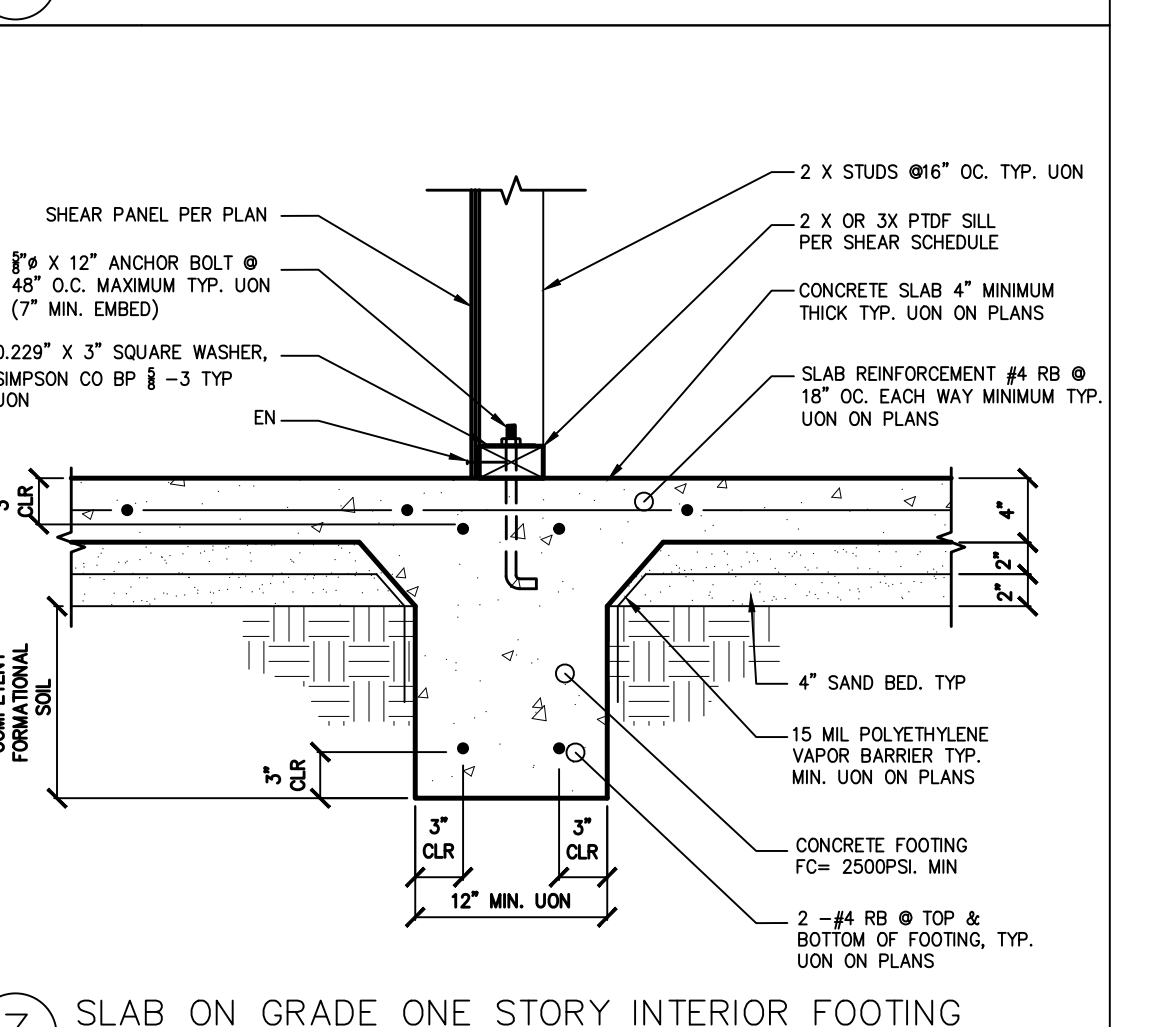
15 JOIST CUTTING, BORING AND NOTCHING



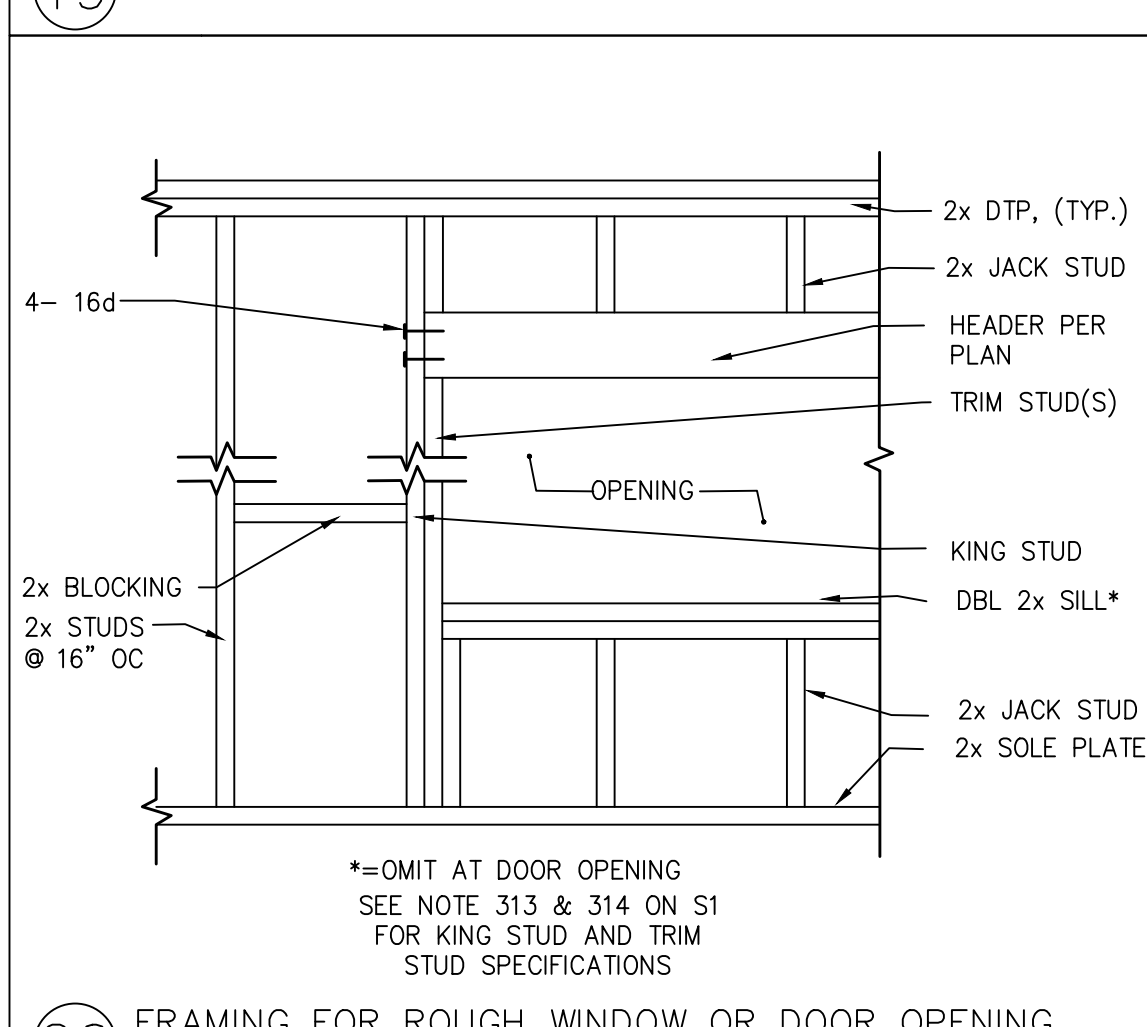
11 SILL PLATE ANCHOR BOLTING



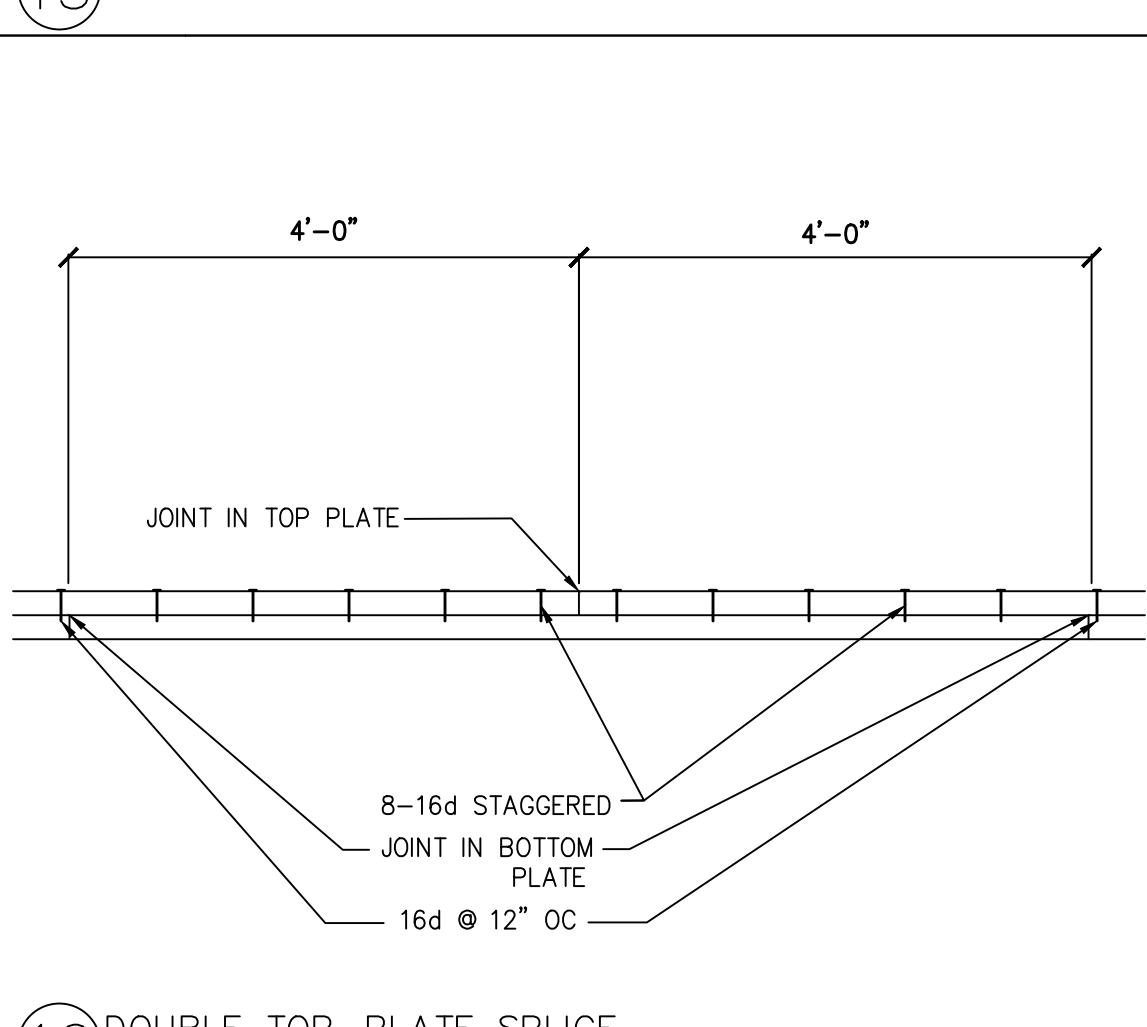
7 EXTERIOR WALL AT PORCH FOOTING



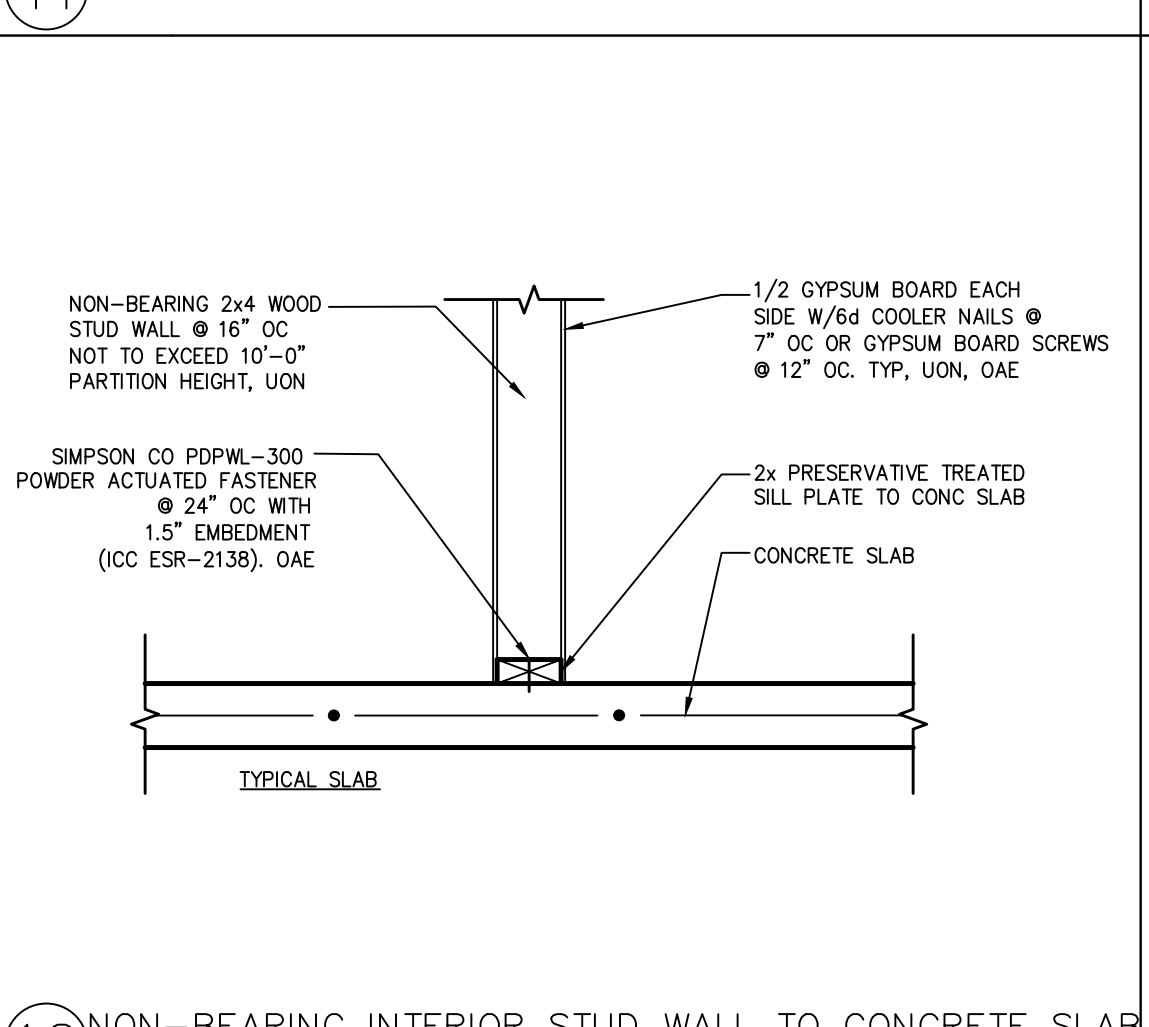
3 SLAB ON GRADE ONE STORY INTERIOR FOOTING



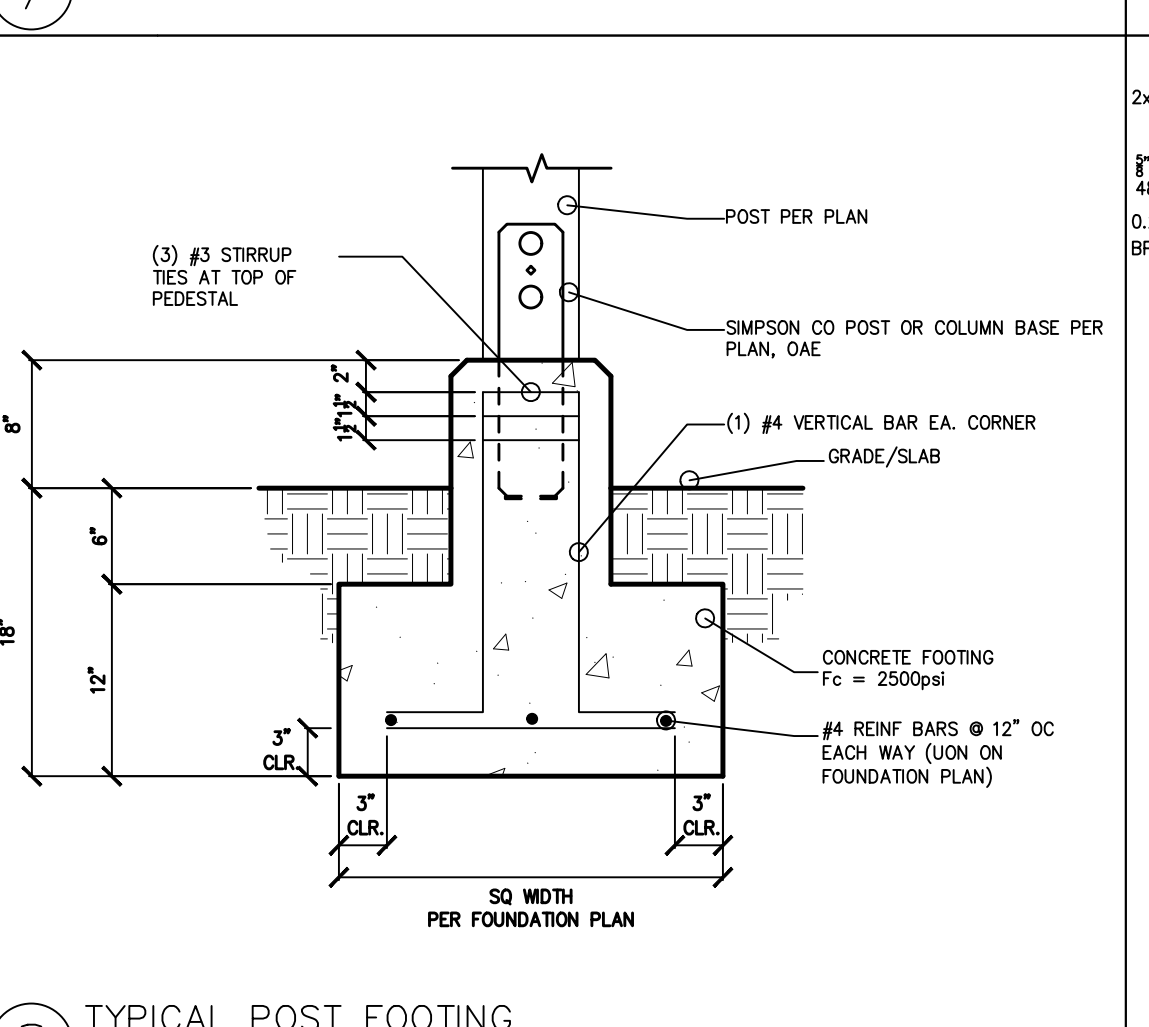
20 FRAMING FOR ROUGH WINDOW OR DOOR OPENING



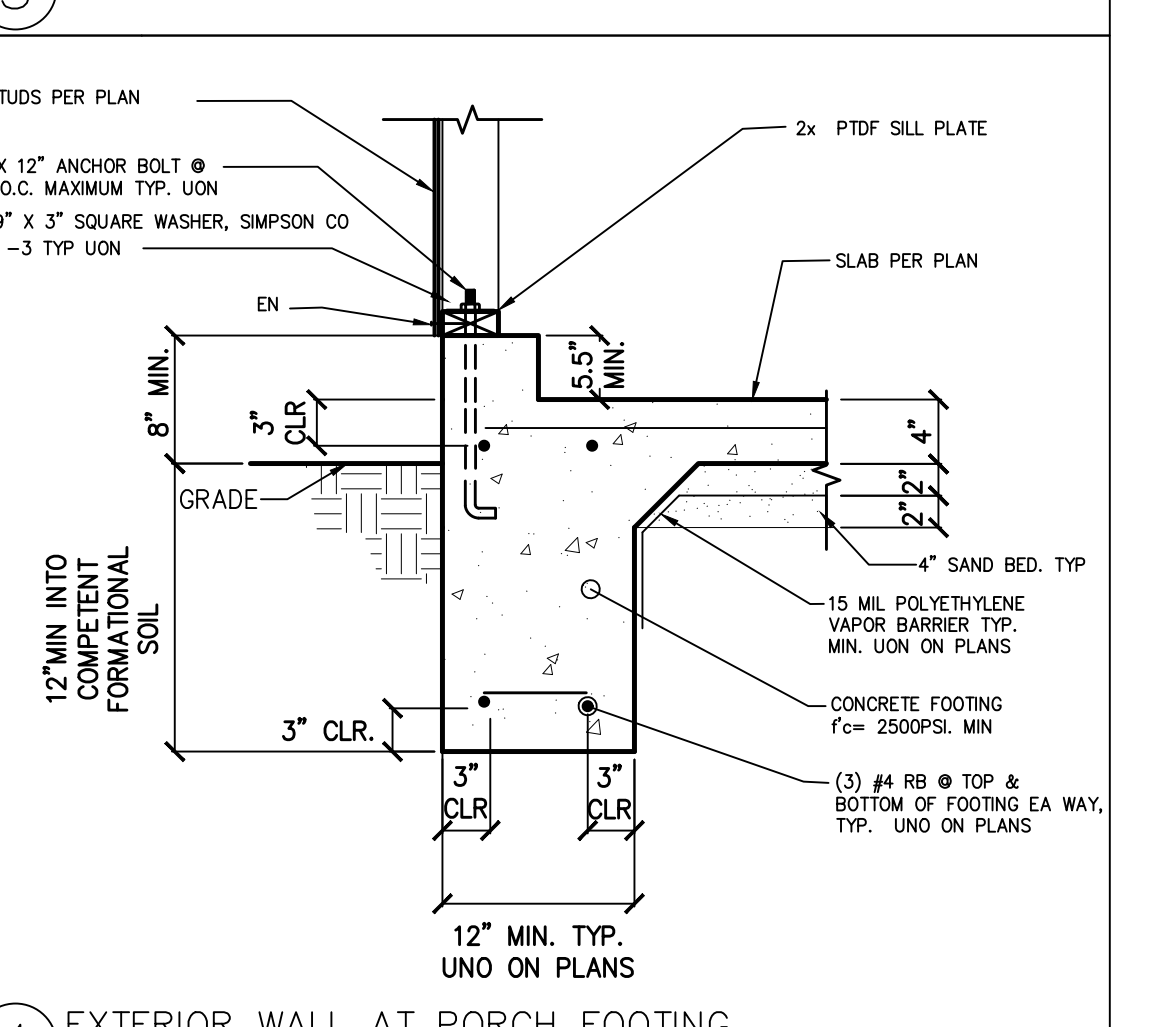
16 DOUBLE TOP-PLATE SPLICE



12 NON-BEARING INTERIOR STUD WALL TO CONCRETE SLAB



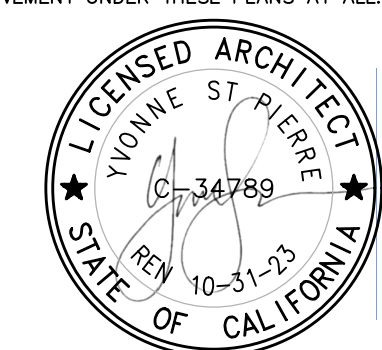
8 TYPICAL POST FOOTING



4 EXTERIOR WALL AT PORCH FOOTING

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project
City of Moreno
Valley Permitted
ADU Plan Set

revisions



description

Structural
Details

date

project no. 2024_Moreno ADU

drawn by

sheet no.

S4

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