				APPLICANT AGREEMENT			
	APPLICANT AGRES TO PROVIDE ALL NECESSARY INFORMATION REQUIRED TO COMPLETE THESE CONSTRUCTION DOCUMENTS. MODIFICATIONS TO THE PERMIT RELAY DOCUMENTS PROVIDED BY DESIGN PART SUDDO ARE TO BE DISCLOSED BY THE APPLICANT AND APPROVED BY THE						
	Ad	APPLICAT CARGES TO PRODUCE ALL MICESSAFE REPORTUTO REQUIRED TO CAMPLETE THESE CONSTRUCTION CONSUMERS MADERIZED STORE THE RESEARCH CONSUMERS AND CONSUMERS AN					
	2 B	2 Bedroom Plan A - 910 s.f.					
	20	Moreno Valley, CA					
				SIGNATURE:DATE:			
SHEET INDEX				HERS NOTES			
T1.1 TITLE SHEET T1.2 EXTERIOR STYLE OPTIONS AS 1 STIT INFORMATION	CONTACT LOCAL U	PROPERLY COMPLETED AND ELECTRONICALLY SIGNED CERTIFICATE OF INSTALLATION (CF2R FORKS) SHALL BE POSTED MEATHER PROTECTED WITHIN					
11.2 STEENWASTEE OF THINS ASI	THIS DETACHED A	1. PRISENT CORPLETED AND ELECTROMOLAL SOURCE OPERFORMS. TO THE PRISENT OF THE PRISENT AND THE					
ALL DOOD DIAM DOOF DIAM CRAFTOMAN DACE				UNIQUE 21 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE PREST 12 DIGITS WILL MATCH THE RESISTRATION NUMBER ASSOCIATED WITH THE CFIR FORM, CERTIFICATE OF			
A1.3 FLOOR PLAN/ROOF PLAN SPANISH BASE A1.4 FLOOR PLAN/ROOF PLAN SPANISH COMPONENT	ZONING INFORMATION CONTACT CITY OF MORENO VALLEY FOR THE INFORMATION BELOW	DIRECTORY	VICINITY MAP	OCCUPANT MILL NOT BE ISSUED UNIT, THE VERY POWER AND RECORDER CHRISCARES OF PRICE VERY COMPLETE & RECETORACIALLY SOMED AND RECORDER CRETECARES OF PRID VERYCLATION AND DIAGNOSTIC TESTING (STSR) SHALL BE POSITED WATHER PROTECTED WHITN THE BUILDING SITE BY A CRITERID MERS RATELY A REGISTERED GYS WILL HAVE A UNDUE 25 DIGIT RECISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PACK. THE FIRST			
A1.5 FLOOR PLAN/ROOF PLAN SPANISH TOWER COMPONENT A2.1 MECHANICAL/PLUMBING/ELECTRICAL PLANS A3.1 EXTERIOR ELEVATIONS CRAFTSIAN BASE	building@moval.org PHONE:(951)413-3380	SITE PLAN & TITLE SHEET INFORMATION PREPARED BY: COMPANY	PROVIDED BY OWNER	PROTECTIED WITHIN THE BULLDING SITE BY A CERTIFIED HERS RATER, A REGISTERED OF SR MIL, HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE, THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE			
A CONTROL PROPERTY OF THE PROP	ZONING: OVERLAY:	CONTACT ADDRESS		PAIL. THE PRIST WHIRE WILL MATCH THE ECCESTRATION NUMBER ASSOCIATIO WITH THE CORRECT CONTROL OF COCCUMENCY MILL NOT BE SSUED UNIT THE CORRECT AND APPROVED. ECS 10-103(A)3, 10-103(B)1A. 3. CFIR REGISTRATION FORMS ARE LOCATED ON THE PLANS. F REGISTRATION IS REQUIRED, A WITE-MANK AND REGISTRATION NUMBER WILL BE VISIBLE.			
AND DOLLARS SECTIONS OF THE TANK DASE	LOT SIZE : EXISTING HABITABLE SO, FT. :	PHONE: EMAIL		A WATER-MARK AND REGISTRATION NUMBER WILL BE VISIBLE. 4. HERS TESTS REQUIRED FOR THIS PROJECT ARE: VARIABLE CAPACITY HEAT PUMP — DICTESS INVISIONEDELY I CONSTITUTION SPACE ARED ON IN HABITABLE FORMS.			
A4.2 BULLION SECTIONS OWN SAME OWN COMMUNENT A4.3 BULLION SECTIONS SYMMED BOX AND SECTIONS SYMMED BOX	DOSTING FAR:	PROPERTY OWNER:		4. HERS TESTS RECURED FOR THE PRODUCT ARE UMARKE MANAGEY HEAT PRODUCT AND MANAGEMEN AND MANAGEMENT AND MA			
AS.2 ARCHIECTURAL ROOF DETAILS	MAX. ALLOWABLE FAR : PROPOSED FAR :	NAME ADDRESS PHONE:		1000-FT, VEND FAIL - LESS WITH OWNER FAST LESS TORS ON REQUIRED FOR A CONTINUOUSLY OFFERINGE DEHALST FAIL PROVIDE A TIMES SERICH WITH A MANUAL OF AND A SUMD ANTING OF 1 SOURCE WAS FAILED FOR AN INTERNITED THAN, THIS FAIL TO PROVIDE A NEW SERIES STRONG OF AN INTERNITED THAN, THIS FAIL TO PROVIDE A SERIES STRONG OF CLEAR AND CONTINUOUS AND AND CONTINUOUS AND AND CONTINUOUS AND			
ST STRUCTION FLANS BASE S2.1 FOUNDATION PLANS GOMEONENT S3 FRANKING PLANS COMPONENT S3.1 FRANKING PLANS COMPONENT	FLOOR AREA OF GARAGE:	EMAIL."		AND A SOUR PAINTO OF 15 SURE OF SOURCES MAN FOR MINIEMMITTED THAN INTO PROVIDE A WHOLE BUILDING INDOOR AR QUALITY AN INTERMITTED THAN OF THE COMPUSANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.			
S5 STRUCTURAL DETAILS	EXISTING LOT COVERAGE: ALLOWABLE LOT COVERAGE:	BUILDING DEPARTMENT: CITY OF MORENO VAILEY BUILDING & SAFETY DEPARTMENT 14177 FREDERICK STREET		6. PV SYSTEM SOLAR: PV NOT REQUIRED WHEN LESS THAN 1.8kWdc MINIMUM PV SIZE BASED ON EXAMPLE ENERGY CALCULATIONS: TO BE UPDATED WITH SITE SPECIFIC ENERGY CALCULATIONS.—PLASS ESE FLOOR PLAN SHEET FOR SOLAR NOTES:			
T24.1 ENERGY CALC. T24.2 ENERGY CALC. T24.3 ENERGY CALC.	PROPOSED LOT COVERAGE : LOT SLOPE :	141/7 PREDERICK STREET MORENO VALLEY, CA 92553 P. (951)413–3380		OA = 1.65kWdc OB = 1.40kWdc 1A = 1.75kWdc			
BUILDING INFORMATION	ADU SETBACKS FROM PROPERTY LINE	PROJECT DESCRIPTION		On - 1.68/mide On - 1.47/mide 10 - 1.72/mide 10 - 1.72/mide 20 - 2.04/mide 32 - 2.04/mide 33 - 2.38/mide			
	ALLOWED: FRONT- PROPOSED: FRONT- REAR- REAR-	NEW CONSTRUCTION OF A ONE STORY 2 BEDROOM 2 BATH, DETACHED 910 S.F. ACCESSORY DWELLING UNIT WITH PORCH AREAS AT		 SPECIAL FEATURES: VCHP REQUIRED ITEMS LISTED ABOVE AND NEEA RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL OR EQ. 			
GOVERNING CODES: APPROVAL OF THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORN BUILDING CODE, CALIFORNA RESIDENTIAL CODE (CRC), CALIFORNA MECHANICAL CODE (CAC), CALIFORNA PLUMENIS CODE (CPC), CALIFORNA ELECTRICAL CODE (CRC), CALIFORNA PERSOY CODE (CRC), CALIFORNA	RNIA STREET SIDE- STREET SIDE-	USED BELOW:		8. NEW 2022 ELECTRIC READY REQUESTEDENTS: PROVIDE SPACE FOR REAT PUMP WHETE HEATER A 240Y OUTLET IS REQUIRED FOR WHETE HEATER, OFFREM, AUTO CHARGING, AND STOVE INCLUDING BREAKER SPACE, DERRY STORAGE SYSTEM FOR A FUTURE BATTERY SYSTEM (BATTERY READY) IS REQUESTED IT PLUL SYSTEM IS NOT INSTALLED.			
BUILDING CODE (CGBC) AND CITY OF MORENO VALLEY MUNICIPAL COD	E. ADU SETBACKS FROM MAIN RESIDENCE	SPANISH: 230 S.F. SPANISH COMPONENT: 332 S.F. SPANISH TOWER: 384 S.F. SPANISH TOWER: 384 S.F.	ADNI				
SITE ADDRESS:	ALLOWED: PROPOSED:	LEGAL DESCRIPTION	APN	EXAMPLE GAS PIPE DIAGRAM TO BE UPDATED FOR SITE SPECIFIC CONDITIONS			
DOVERNING AGENCY: CITY OF MORENO VALLEY, CA. DOCUPANCY GROUP: R3 STORIES: 1	OFF STREET PARKING :			NOTE: EXISTING DAS SERVICE AND METER SIZE TO BE PROVIDED BY HOMEONEM AND UPDATED SOBRETION LANGUE THORMOTO BY DESIGNER OF CHOICE, CHI & BRUS PROVIDED AS SUDGESTED LOADS. OMNER/DESIGNER IS TO PROVIDE AGAINST INFORMATION.			
TYPE OF CONSTRUCTION: VB	REQUIRED: PROVIDED:	FAIRNIAN INFORMATION TO BE CON	MADI ETER RIV OWNER	LOADS, OWNER/DESIGNER IS TO PROVIDE ACQUIRATE INFORMATION. SECURITY TO PROVIDE TO THE CETT OF MORENATO VALUE VALUE VALUE RESERVED. ON ALLEY VALUE RESPECTOR RESPECTOR.			
		EMENTAL INFORMATION - TO BE CON					
additional plan information provided by applicant:	exterior wall material:		ver waste water information:	(E)GAS METER PIPE BY POME CFH (-* LENGTH)			
X COMPLETED THE SHEET (1) 5) INFORMATION FILLED OUT	EXTERIOR WALL COLOR OF PRINCIPAL DIVELLINS UNIT. (EXTERIOR WALL COLOR OF ABU IS TO MATCH PRINCIPAL DWELLING UNIT)	L^A	DU TO HAVE NEW CONNECTION TO CITY SEWER MAIN DU TO CONNECT TO EXISTING RESIDENCE SEWER LATERAL 1F	-" PIPE (N)DRYER 35 CPH			
SITE PLAN SHEET (AS.Z) PROVIDED IN PLAN SET FOR CITY REVIEW	STUCCO / COLOR	FIRE SPRINKLERS (WHEN REQUIRED)	ISTING BOUSE HAS FOUR OR MORE TOLLETS WITH AN EDISTING 3 INCH SEWER DRAIN, A PARATE CONNECTION TO THE CITY SEWER MANIN IS REQUIRED FOR THE NEW ADU, REFER TO RREINT CPC SECTION 703.2 FOR PIPE 3/ZNIG REQUIREMENTS	MIRANGE (MIRANGE)			
UPDATED TITLE 24 ENERGY CALCULATION REPORT WITH CORRECT NAME, ADDRESS, AND EXACT ORIENTATION FOR SITE SPECIFIC CONDITIONS, OWNER MAY CONTACT THE BOTHLY WHO PREPARED THE ORIGINAL REPORT (SHOWN ON 124.1) TO OBTAIN UPDATES TO THE RIPORT.	STONE VENEER / COLOR	TRUSS CALCULATIONS (WHEN REQUIRED) PHOTOTOVICTAIC SYSTEM: THE PY SYSTEM MUST BE INSTALLED, OPERATIONAL AND FINAL PROOF OF PINAL BULLION BREFECTION AND APPROVIAL FOR THE ADUL (WHEN REQUIRED) DIS	PPIC - REQUIRES HEALTH DEPARTMENT APPROVAL STANCE TO CONNECTION	(N)RANCE & OPER & S. CFH			
CONSTRUCTION AND DEMOLITION FORM	WOOD SIGNIG / COLOR	THE THERE IS AN EXISTING PHOTOYOLTAID SYSTEM OF SUFFICENT SIZE ON THE MAIN HOUSE TO ACCOMMISCATE THE NEW ADUITHEN HOMEOWNER IS TO PROVIDE A REPORT STATING THE EXISTING SIZE OF THE PV PANEL	sprinkler information:	35 65 GAS CALQUATORS			
exterior style selection:	OTHER	roomanning:	ELECTION	OAS CALCULATIONS APPLIANCE D'IV GOT INTOTAL CON (NEW) DRIVER 1 35 (NEW) DRIVER 1 35			
X SELECTION	roof material: x SELECTION: ROOFING MATERIAL MUST MEET CLASS A	ROOF FRAMING PER PLAN EX	DISTING RESIDENCE CURRENTLY HAS FIRE SPRINKLERS	INDIA CARACTER ST. CONTROL			
GRAFTSMAN BASE GRAFTSMAN COMPONENT	ROOF COLOR OF PRINCIPAL DWELLING UNIT (ROOF COLOR OF ADU IS TO MATCH PRINCIPAL DWELLING UNIT)	THE CITY OF MORENO VALLEY FOR APPROVAL INDICATE ON DEFERRID SUBMITTAL	ISTNG RESDENCE <u>DOES NOT</u> CURRENTLY HAVE FRE SPHINKLERS ROPERTY IS LOCATED IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE	TOTAL GAS LOAD FOR HOUSEHOLD APPLIANCES = 100,000 BTU/h 100 CFH			
SPANISH BASE	TRM COLOR OF PRINCIPAL DWELLING (TRM COLOR OF ADU TO MATCH PRINCIPAL DWELLING UNIT TRIM)	fire rated details:	ROPERTY <u>IS NOT</u> LOCATED IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE (VHSF2) BY ANNUS BEONISED TO HAME FIRE SPINING FIRS IF THE FUNKTION RESIDENCE HAS FIRE	PPE SIZE SCHEDILE 40 METALLIC PIPE 127 LENGTH PER TABLE 1216.(X)) CALIFORNA PLUMENTO CODE			
SPANISH COMPONENT SEE SHEET TIL2 FOR EXTERIOR RENDERING	CONCRETE TILE ROOF - EAGLE ROOF PRODUCTS NC IM/PO UES-ER 1900 MINIMUM 2-10-12 ROOF SLOPE COUGH OF CONCRETE TILE ROOF	X SELECTION SP ROOF EAVE DETAIL 12358 TAS2	PRINLERS OR IS LOCATED IN VHFSZ. SEE NOTES ON G0.3 AND FIRE RATED DETAIL RECKLIST ON THIS SHEET	FER TABLE 1216.2(1) CAUFORNA PULMBING CODE SIZE ½" ½" 1" 1½" 1½" OTH 44 92 173 355 532			
electrical service information:	ARCHITECTURAL GRADE SHNOLE - CERTAINTEED - ICC-ES ESR-3537 MINIMUM 2:12 ROOF SLOPE. COLOR OF ARCHITECTURAL GRADE SHNOLES		ndow and trim color:				
X SELECTION UPGRADED SERVICE	OTHER ROOF MATERIAL / COLOR / IOC / UL:	FER DATE DATE A PLACE A SET OF BUILDING HER THE RESPECTIVE DATE OF THE YEAR WHICH HER SECRET WAS CHIEF OF THE WHITE AND CHIEF OF THE SECRET WAS CHIEF OF THE WAS CHIEF OF THE SECRET WAS CHIEF OF THE	NDOW COLOR OF PRINCIPAL DWELLING UNIT. PURDOW COLOR SELECTION BELOW FOR THE ADU IS TO MATCH PRINCIPAL DWELLING UNIT MOOW COLOR.	lot size and impervious area: Total Lot Size =			
EXISTING SERVICE TO REMAIN NEW SERVICE	gas service information:	THE MAIL DO SHALLS WIDTH AND LARGEST DIS BEGINNETHER DISCUSSED SHAWLING IT FROM THE THE WAS DISCUSSED AND AND AND AND AND AND AND AND AND AN		(Existing building bodyrint, patios, decks, hardsrape, etc.) Total Area of Existing Impervious Surfaces = (Sisting Juding loopering patios, decks, hardsrape, etc.)			
SIZE OF EXISTING SERVICE SIZE OF NEW SERVICE	x selection	NEW BULDING FOR WHICH APPLICATION FOR A BUILDING PERMIT IS SUBMITTED ON OR AFTER JULY 1, 2006, LOCATED IN ANY FEEL MAZING SCHOOLTIVE TO WAY WITH ALL SECTIONS OF THE CAL FORTHA BUILDING CODE CHAPTER 7A (SPIN) MATERIALS CAND CONSTRUCTION METHODS FOR EXTERNING WITH FIRE PERSONAIR	M RK BRONZE	Total Area of New Impervious Surfaces = (Increase to building footprint, patios, decis, hardscape, etc.)			
	UPGRADED SERVICE EXISTING SERVICE TO REMAIN	flood zone information:	IRK BRONZE	Total Area of Replaced Impervious Surfaces = (Replacement to building footprint, paties, decks, hardscape, etc.)			
	New service	X SELECTION —	INDOW TRIM COLOR OF PRINCIPAL DWELLING UNIT.				



project

City of Moreno Valley Permitted ADU Plan Set

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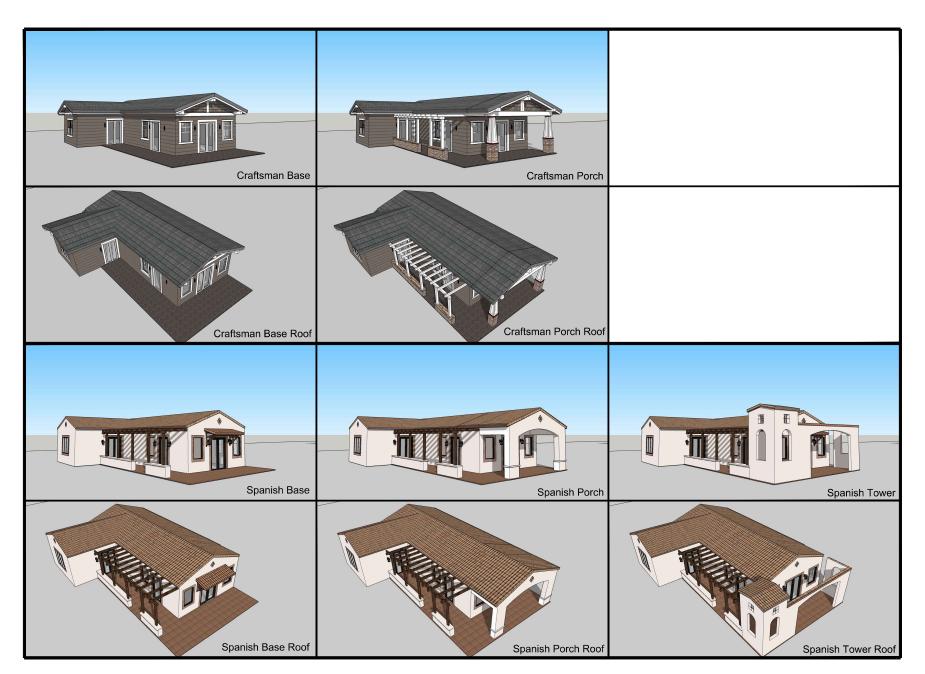
description

Title Sheet

date

project no. 2024_Moreno ADU

drawn by



DESIGN PATH STUDIO architecture + engineering + planning P.O. BOX 230165 ENCINITAS, CA 92023 — 619.292,28907



project

City of Moreno Valley Permitted ADU Plan Set

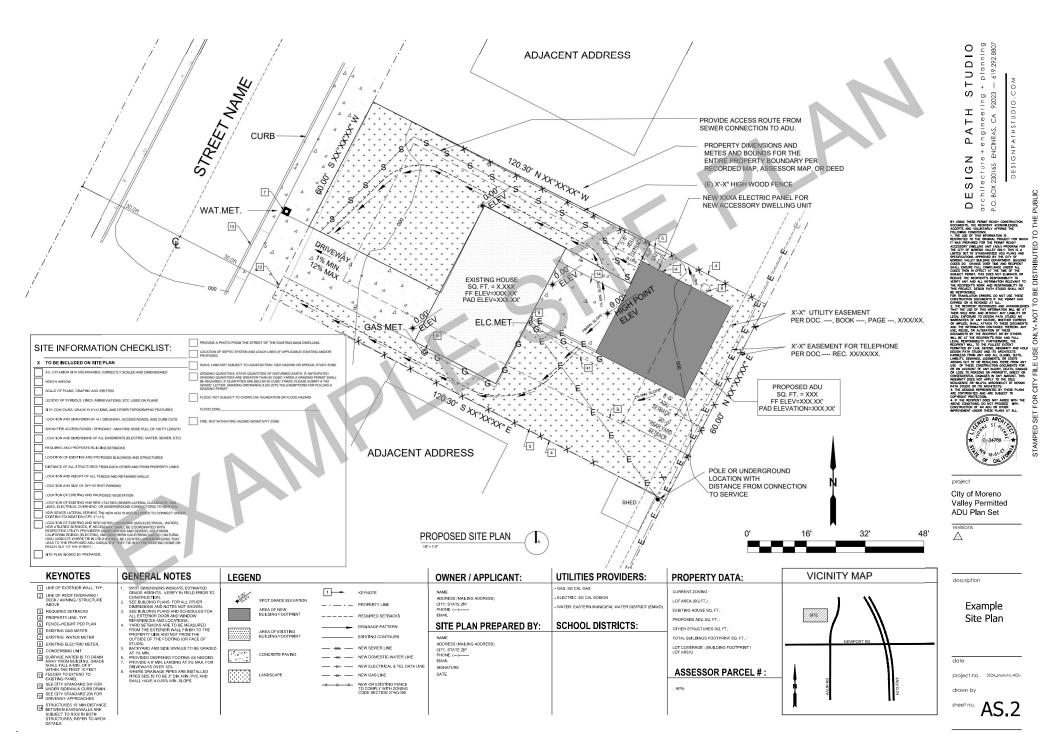
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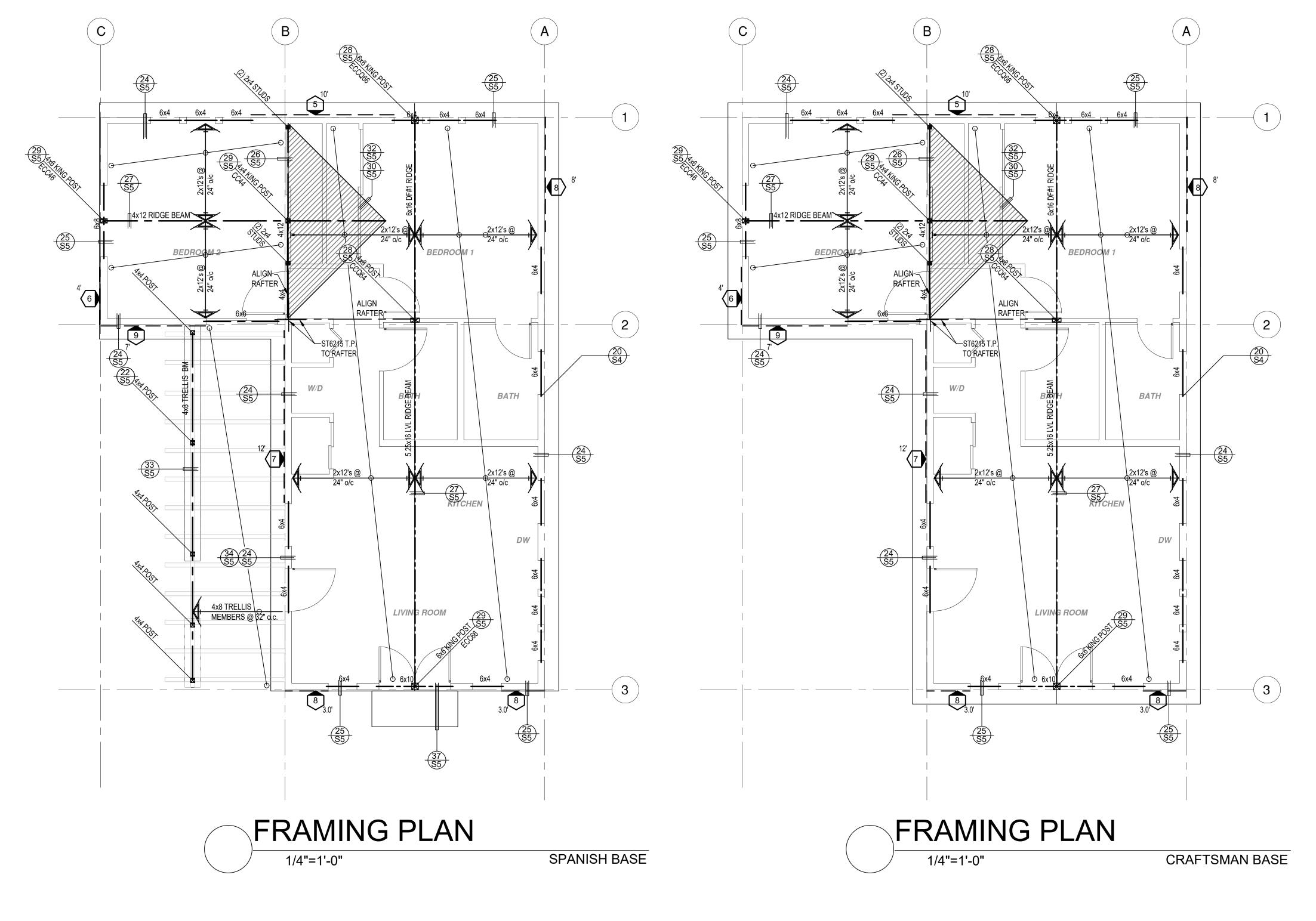
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Exterior Style Options

date

project no. 2024_Moreno ADU





SHEAR WALL SCHEDULE (ASD VALUES)

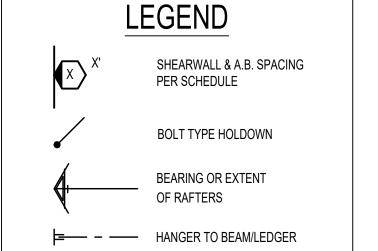
FOUNDATION NOTES

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- 4. PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH
- PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- S. SEE SHT S4 FOR TYP. CONCRETE & SLAB DETAILS 1-8 POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2)
- 16d T.N. EA SIDE, TYP.
- . FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

			·			
	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1& 4)	$\frac{3}{8}$ " ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4½" o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	15/32" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	15/32" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260*	350*	490*	550*	665*	870*
ANCHOR BOLT SPACING	⁵ / ₈ " @ 48" or ½" @ 32"	½" @ 32" or ½" @ 24"	½" @ 24" or ½" @ 16"	½" @ 24" or ½" @ 16"	5%" @ 16" or ½" @ 24"	½" @ 12" or ½" @ 8"
16d (0.148") SILL NAILING	6"	4½"	3½"	3"	1/4"x41/2" SDS screws @ 8"	¼"x4½" SDS screws @ 8"
SPACING OF A35/LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

SHEAR WALL FOOTNOTES

- (1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARSHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)
- (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE ½" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE ¾" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.



* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

BEARING OR EXTENT

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS: 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF MORENO VALLEY ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF MORENO VALLEY BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project City of Moreno Valley Permitted **ADU Plan Set**

revisions

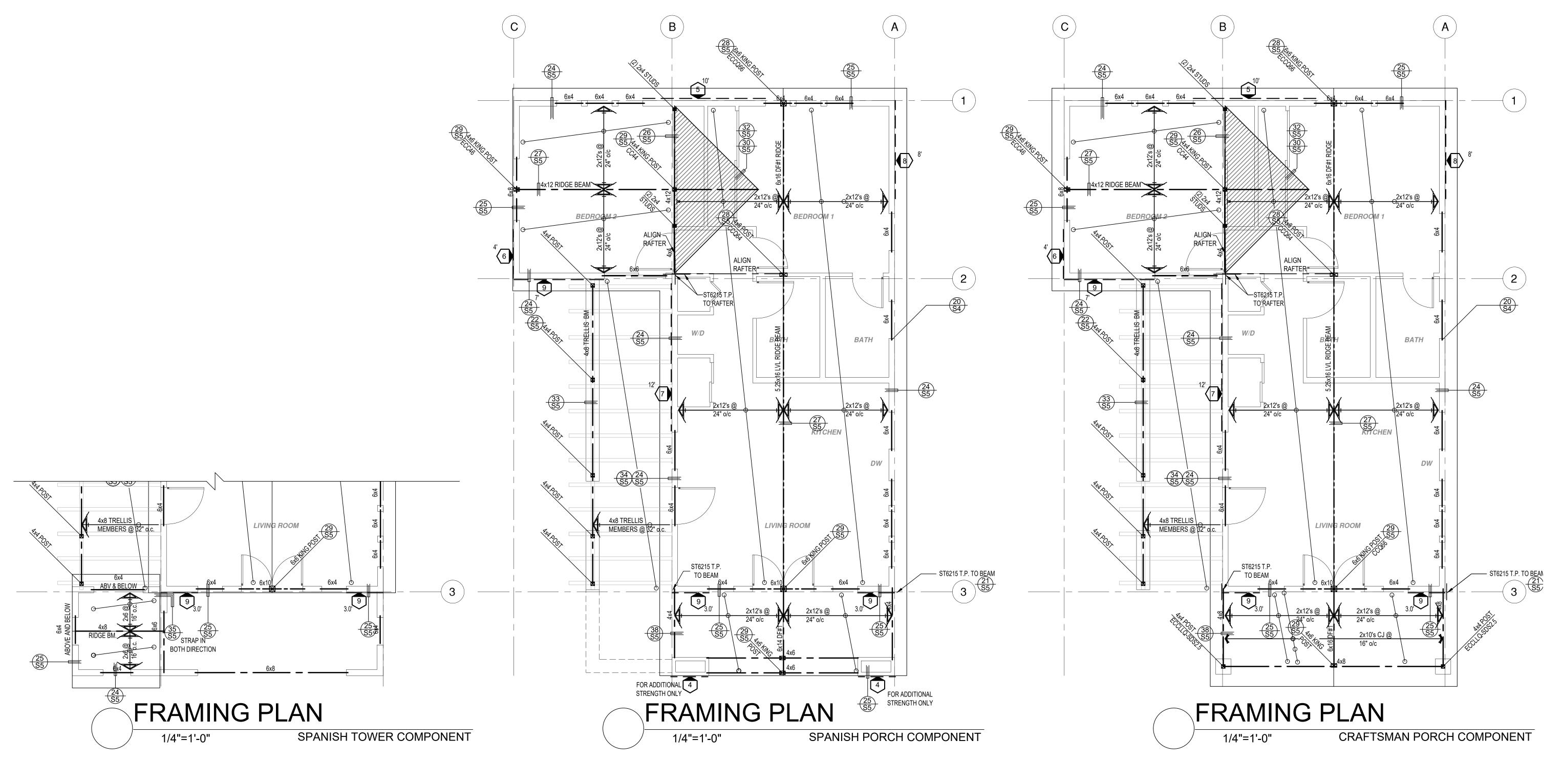
description

Plan 2A Framing Plan Plan

date

project no. 2024_Moreno ADU

drawn by



SHEAR WALL SCHEDULE (ASD VALUES)

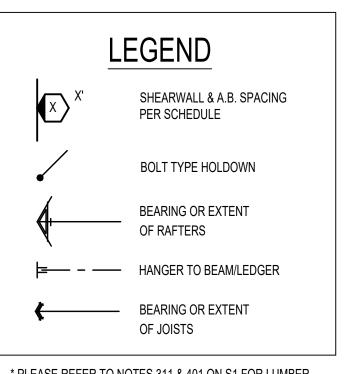
FOUNDATION NOTES

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- 4. PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH
- ANCHOR BOLT.
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- 7. POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2)
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	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1& 4)	$\frac{3}{8}$ " ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 41/2" o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	15%2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	15/32" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260*	350*	490*	550*	665*	870*
ANCHOR BOLT SPACING	½" @ 48" or ½" @ 32"	½" @ 32" or ½" @ 24"	½" @ 24" or ½" @ 16"	½" @ 24" or ½" @ 16"	½" @ 16" or ½" @ 24"	½" @ 12" or ½" @ 8"
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SPACING OF A35/LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

SHEAR WALL FOOTNOTES

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- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)
- 3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE ½" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE ¾" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.



* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

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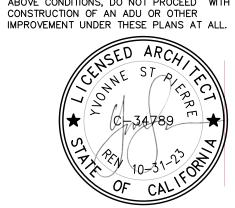
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Plan 2A
Component
Framing
Plan

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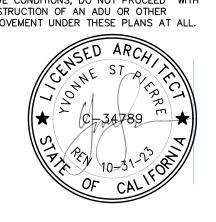
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